



TROY ARCHITECTURE PRACTICE, PLLC.

ELIZABETH RODRIGUEZ R.A., LAURA E. RYDER R.A, BARBARA L. NELSON R.A., AIA

December 30, 2024

Randall Coburn, Commission of Planning and Economic Development
City of Troy
433 River Street
Troy NY 12180

Re: PLPC 2024 0024

Dear Randy,

Attached please find TAP's amended materials related to site plan review for Adler Place. We are hopeful to be included on the January 21 Planning Board agenda for Final Review.

Our application materials have been revised to address the staff notes from the December 17 hearing. They also include the subdivision and lot line adjustments needed for a clean property definition for the project.

The project still includes 30 condominium units, ranging from studios to 3 bedrooms. The units are arranged in two principal structures, each 3 stories high, facing each other across a shared courtyard. The courtyard opens to an existing memorial garden to the North on Adams Street. 13 parking spaces are provided off Franklin Street. One of the spaces is wheelchair van accessible and 2 have electric vehicle chargers. Wheelchair access is provided via a sloped sidewalk from Adams Street, and a protected lift from the parking area.

We have submitted these materials to the county department for instruction on unit addresses and numbering per TFD instructions.

Please let me know if you have any questions or need additional materials.

Respectfully,

A handwritten signature in black ink, appearing to read 'Barbara Nelson', followed by a horizontal line extending to the right.

Barbara Nelson, AIA
bnelson@tapinc.org

cc: Eric Ferraro
Angelina Apinden



TROY ARCHITECTURE PRACTICE, PLLC.

ELIZABETH RODRIGUEZ R.A., LAURA E. RYDER R.A., BARBARA L. NELSON R.A., AIA

December 16, 2024

Randy Coburn, Commissioner
Troy Dept of Planning and Economic Development

Regarding **PLPC 2024 0024** please see the following responses in blue italics to the staff report received 12/12/2024.

Staff Report:

- Applicant: Barb Nelson, Director of TAP
- Owner: Troy Architectural Program *our legal name is TAP Inc.* (TAP)
- Current site conditions: Vacant land, Former school building, mixed use building, gardens
- Zoning: Mixed Use – 1 / Neighborhood IV
- Available public services: water/sewer
- SEQR: Type I
- **Notes:**
 - **A late error in the project description. Agenda states the project will create 31 units. The total count is 30. Y**
 - **Applicant is looking for a determination on application completeness Y**
 - **Applicant will require a designation of lead agency under SEQRA Y**
 - **Application missing tax map I.D. for 222 2nd street (100.84-5-1) Y**
 - **The property identified as 220-222 2nd street is listed in the city's map as 218 2nd Street, and it's tax map I.D. is above (100.84-5-1)**
 - **This property is part of the lot line adjustment. Y**
 - **Project description and application repetitively refers to Franklin Street as Franklin Alley. This is relevant due to the need for accessory parking zone setbacks. The City's mapping systems all identify this Public R.O.W. that divides 77 Adam's street as Franklin Street. Y. *Because Franklin Street is the only public R.O.W. adjacent to building F, it qualifies as a Front Property Line. Therefore it***
 - **While it has an appearance similar to an alley, there are no sources that staff have found that identify this public R.O.W. as such.**
 - **Question #3 on Complete streets form incomplete *form will be corrected***
 - **Curbs are sunk into the ground.**
 - **Curbs are required to be at least 4 inches above grade.**
 - **Curbs to entire block are more or less flush with the street**
 - **Uncertain what the applicant proposes to do about curbs to existing parking lot *all curbs will be replaced or reset to meet 4" minimum***
 - **77 Adams Street, spans across Franklin Street, where it is listed on city maps as both 71 Adams Street and 224 2nd Street. It is this parcel that is to be subdivided. Y**
 - **Project involves the demolition of existing parking lot Y**

condo homeowners association fee.

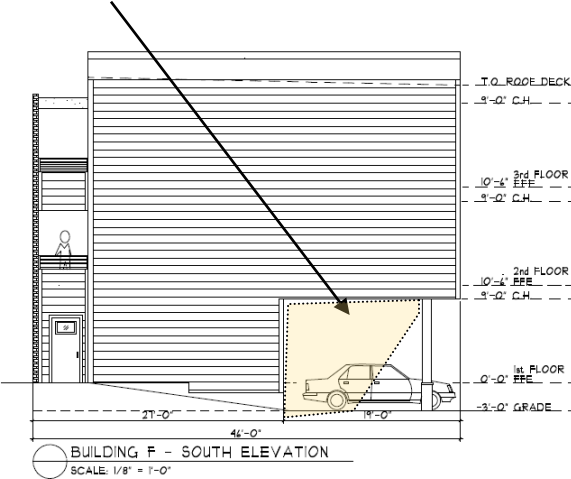
- TFD has reviewed and approved the project's requirements for fire lane/corridor access. *Y*
- Principal building requirements:
 - **Ch.285-41(D)** All principal buildings must be attached to a continuous, permanent masonry foundation, unpierced except for required ventilation and access installed under the home. *All foundations are continuous. First level of all structures will be built with slab on grade.*
- **Staff Recommendations:**
 - Application should specify "Franklin Street" in conjunction with the required area variance needed for parking accessory setback. *Franklin Street is labeled on all site plans. Terminology will be corrected on the Application and cover letter.*
 - Add parcel I.D. 100.84-5-1 to the application under the Property module. This is the address for 220-222 2nd Street. *Application will be corrected*
 - Ensure exacting details on address identification for the city and county as it pertains to 218 2nd street, which identifies as both 220-222 and 218 in the City's System. This is important for 911 dispatch. *TAP will meet with the county to establish all addresses. TFD suggests that all units fronting on 2nd Street have 2nd St. addresses, and that all other units with primary access in the courtyard, have Adler Place addresses.*
 - Complete Question #3 on complete streets form.
 - Eliminate curb cuts to existing parking. Raise curbs to 4 inches high across all parcels owned by owner. *Existing curb cuts will be eliminated. All new and modified curbs will be 4" high. Existing granite curbs will be reset at 4" if possible.*
 - Lighting:
 - Applicant to address lighting in parking area. How bright are these lights going to be? Will they hinder adjacent properties/residences? *The parking area is covered by the second floor of Building F. Lighting will be mounted on the ceiling, the underside of the building above. They will be directed to shine west toward the building itself. They can be motion activated or have a diminished brightness after a specific time of day.*
 - Provide additional details on lighting. Fixtures, posts, lumens, footcandles, etc. *Details will be provided*
 - Applicant to provide garbage location/plan. *Fenced enclosure for 95 gallon rolling trash bins is shown on Sheet C7.*
 - Provide any additional details for signage that will be mounted to the structures or displayed throughout property (ex. garden, pedestrian wayfinding assists, etc.) *Signage plan will be provided.*
 - Provide detail on proposed fencing *Details will be provided*
 - Applicant to obtain area variance for accessory parking locations along Franklin Street.
 - Applicant to ensure compliance with Ch. 285-41(D) or seek variance. *All foundations are continuous. First level of all structures will be built with slab on grade.*
 - **Provide any details on placemaking elements (ex. benches, lamp posts, gates, etc.)** *Per above, there will be benches, light bollards and light posts, and trash receptacles. These will be added to sheet C7 when products are selected. Raised bed structures for gardening are shown on sheet C3, Landscape Plan.*
 - **Provide snow storage locations** *Please see diagram above and elevation below. There is no snow storage needed. The parking spaces are covered by the second floor of Building F. A*

property manager will maintain access to parking and clear pathways through the courtyard with a snow blower. Heavy snowfall can accumulate on the green grass areas shown on most drawings.



Parking spaces are protected by the building above

Lighting is directed toward the building, not into the alley



Legend:

- Iron pin
- ⊙ Masonry nail
- ☆ Lightpole
- ⊕ Manhole
- Catch basins
- ⚡ Fire hydrant
- ⊕ Water valve
- Gas valve
- Chain-link fence
- Overhead utilities
- Streetlight

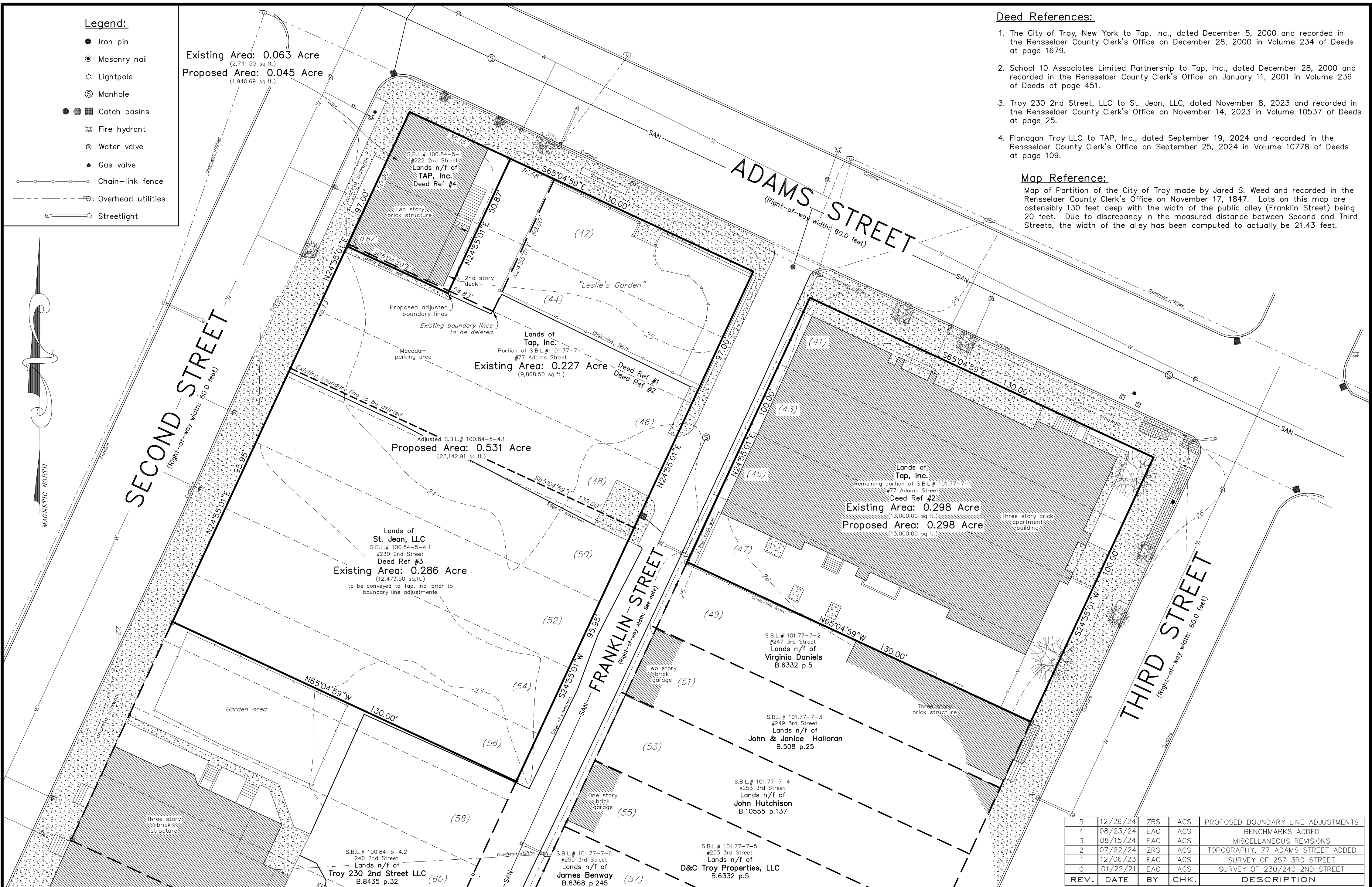
Existing Area: 0.063 Acre
(2,741.50 sq.ft.)
Proposed Area: 0.045 Acre
(1,940.69 sq.ft.)

Deed References:

1. The City of Troy, New York to Tap, Inc., dated December 5, 2000 and recorded in the Rensselaer County Clerk's Office on December 28, 2000 in Volume 234 of Deeds at page 1679.
2. School 10 Associates Limited Partnership to Tap, Inc., dated December 28, 2000 and recorded in the Rensselaer County Clerk's Office on January 11, 2001 in Volume 236 of Deeds at page 451.
3. Troy 230 2nd Street, LLC to St. Jean, LLC, dated November 8, 2023 and recorded in the Rensselaer County Clerk's Office on November 14, 2023 in Volume 10537 of Deeds at page 25.
4. Flanagan Troy LLC to TAP, Inc., dated September 19, 2024 and recorded in the Rensselaer County Clerk's Office on September 25, 2024 in Volume 10778 of Deeds at page 109.

Map Reference:

Map of Partition of the City of Troy made by Jared S. Weed and recorded in the Rensselaer County Clerk's Office on November 17, 1847. Lots on this map are ostensibly 130 feet deep with the width of the public alley (Franklin Street) being 20 feet. Due to discrepancy in the measured distance between Second and Third Streets, the width of the alley has been computed to actually be 21.43 feet.



| REV. | DATE | BY | CHK. | DESCRIPTION |
|------|----------|-----|------|------------------------------------|
| 5 | 12/26/24 | ZRS | ACS | PROPOSED BOUNDARY LINE ADJUSTMENTS |
| 4 | 08/23/24 | EAC | ACS | BENCHMARKS ADDED |
| 3 | 08/15/24 | EAC | ACS | MISCELLANEOUS REVISIONS |
| 2 | 07/22/24 | ZRS | ACS | TOPOGRAPHY, 77 ADAMS STREET ADDED |
| 1 | 12/06/23 | EAC | ACS | SURVEY OF 257 3RD STREET |
| 0 | 01/22/21 | EAC | ACS | SURVEY OF 230/240 2ND STREET |

Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of Section 7209, Subdivision 2 of the N.Y. State Education Law. Only copies from the original of this survey marked with an original of the land surveyor's embossed seal shall be considered to be valid copies.

In addition, only copies from the original of this survey marked with an original of the land surveyor's signature in RED shall be considered to be valid copies.

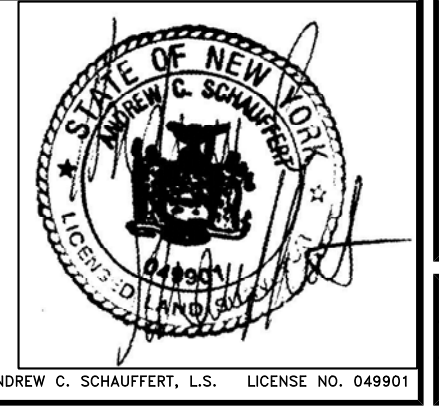
I hereby certify that this subdivision plat was prepared by me based on an actual field survey performed by me on January 22, 2021 and updated on December 6, 2023 and July 22, 2024.

Andrew C. Schauffert, L.S.
N.Y.S. License no. 049901

SANTO ASSOCIATES
LAND SURVEYING AND ENGINEERING, P.C.

1 BARNEY ROAD • SUITE 109 • CLIFTON PARK, NY 12065
PHONE: (518) 383-8001

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"Unauthorized duplication is a violation of applicable laws."

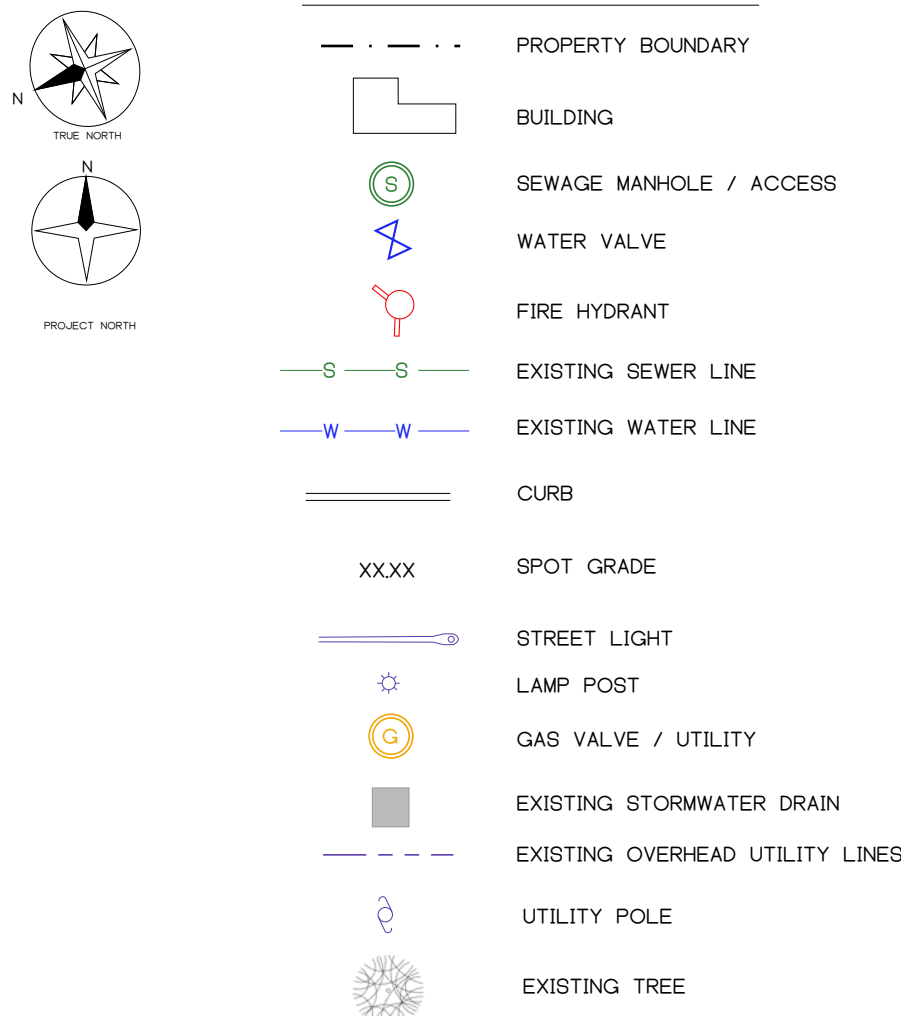


SURVEY MAP SHOWING PROPOSED BOUNDARY LINE ADJUSTMENTS AND SUBDIVISION OF LANDS OF TAP, INC. AND ST. JEAN, LLC
AT 222 & 230 SECOND STREET & 77 ADAMS STREET, TROY, NY 12180
S.B.L.#s: 100.84-5-1, 100.84-5-4.1 & 101.77-5-1

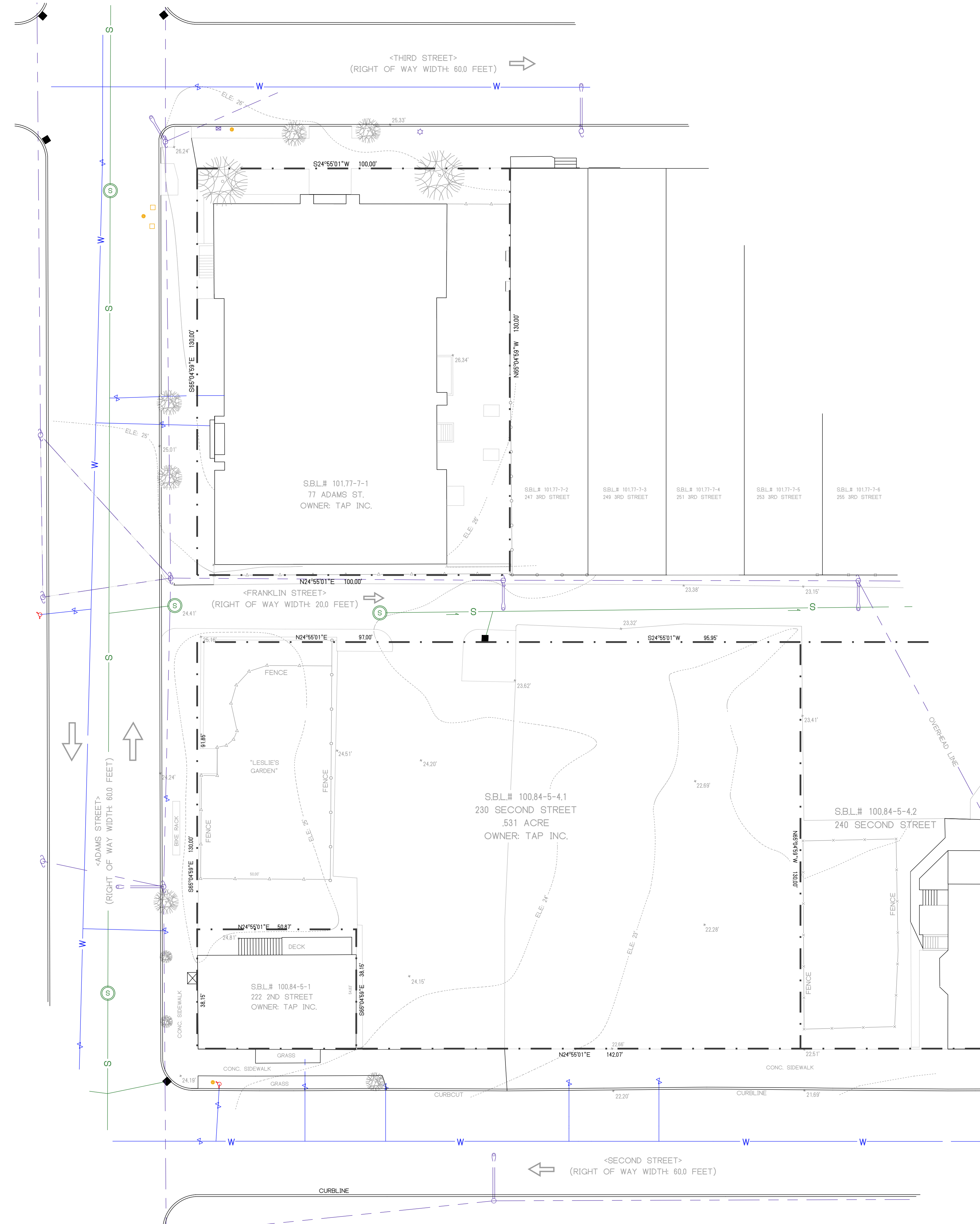
| | | |
|-----------------|----------------------|-----------------|
| DRAWN BY: ZRS | CITY OF TROY | SCALE: 1" = 20' |
| CHECKED BY: ACS | COUNTY OF RENSSELAER | DWG. NO.: 8282 |
| DATE: 07/22/24 | STATE OF NEW YORK | REV.: 5 |

C1 EXISTING CONDITIONS

SITE PLAN LEGEND



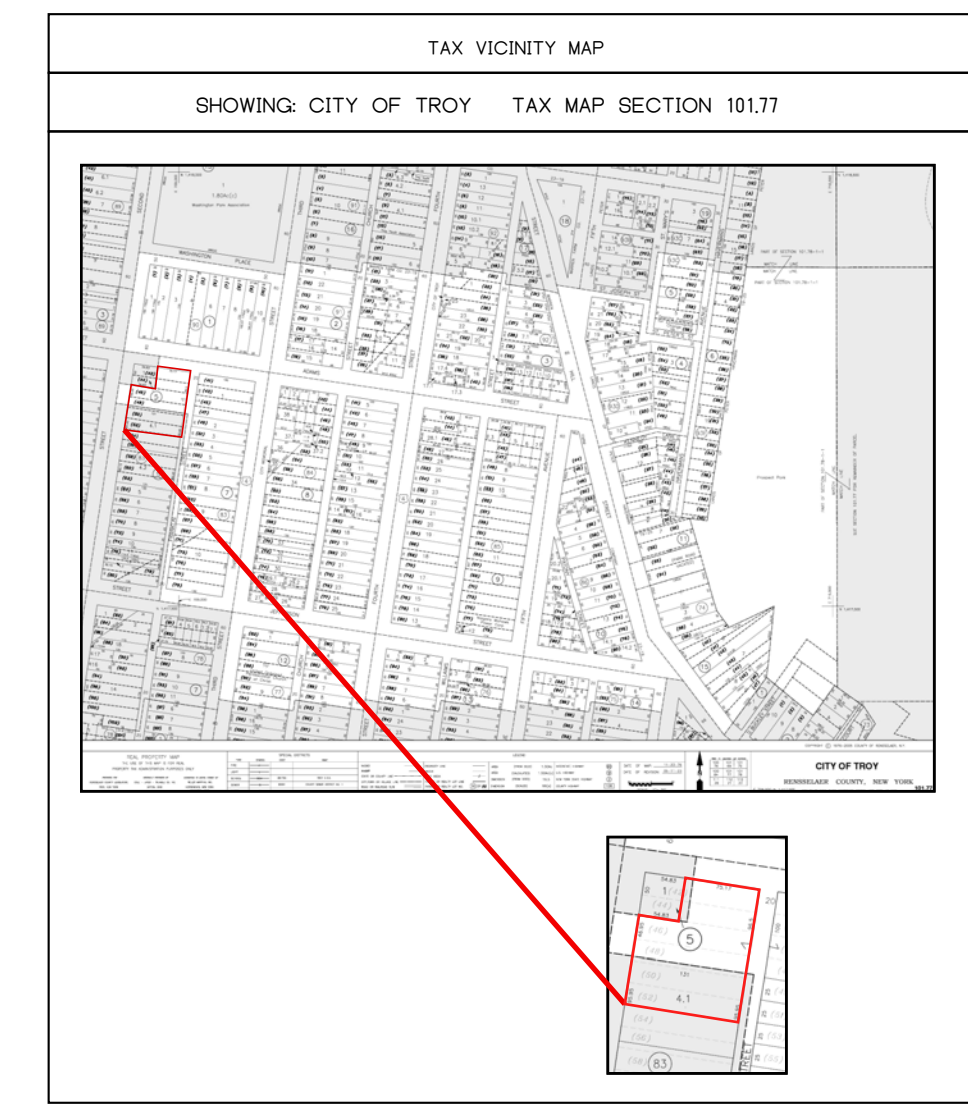
- GENERAL NOTES:**
- UNLESS OTHERWISE AGREED UPON, ALL BUILDING AND CONSTRUCTION PERMITS, AND REQUIRED MUNICIPAL INSPECTIONS SHALL BE OBTAINED, COORDINATED AND PAID FOR BY THE PROPERTY OWNER, OR THE GENERAL/PRIME CONTRACTOR OF RECORD WHO WILL BE PERFORMING THE SPECIFIC AND APPROVED TRADE. THESE INSPECTIONS INCLUDE BUT ARE NOT LIMITED TO FOUNDATION, FORMWORK, FOOTING, FRAMING, INSULATION, PLUMBING, ELECTRICAL, ROOFING, SEPTIC TANK OR LEACHFIELD INSPECTIONS AS REQUIRED FOR THE PROPER PLANNED EXECUTION OF THE APPROVED WORK.
 - ALL MATERIALS, ASSEMBLIES, SYSTEMS, METHODS OF CONSTRUCTION AND EQUIPMENT ARE TO CONFORM WITH THE MOST CURRENT REQUIREMENTS OF THE NEW YORK STATE RESIDENTIAL BUILDING CODE, IBC W/ NYS 2020 UNIFORM & ENERGY CODE, NFPA 72, ALL OTHER APPLICABLE CODES, TOWN AND COUNTY LAWS, REGULATIONS, ORDINANCES AND PERFORM TO GENERALLY ACCEPTED STANDARDS IN THE PRESENCE OF A DISCREPANCY BETWEEN THESE DRAWING/SPECIFICATION NOTES AND THE APPLICABLE CODE, THE CODE REQUIREMENTS SHALL GOVERN.
 - ALL CONTRACTORS SHALL PERFORM WORK TO THE INTENT OF THE DESIGN PORTRAYED IN THE DRAWINGS PROVIDED IN THIS SHEET SET AND WILL PROVIDE COMPLETE AND FINISHED WORK THAT IS REASONABLY TESTED, AND INCLUDES ALL NECESSARY ITEMS REQUIRED REGARDLESS OF WHETHER SPECIFICALLY CALLED FOR IN THE DRAWINGS OR NOT. THESE PLANS ARE INTENDED TO PROVIDE A VISUAL REPRESENTATION AND A MANUAL SET OF GENERAL INSTRUCTIONS OF THE WORK TO BE PERFORMED AND ARE FULLY INTENDED TO SUPPLEMENT THE BUILDING CODES APPLICABLE TO THIS PROJECT. IT IS EXPECTED THAT THE GENERAL/PRIME CONTRACTOR PERFORMING THE WORK HAS A FULL WORKING KNOWLEDGE OF THE BUILDING CODES OF NEW YORK STATE AND ALL CODES APPLICABLE TO THIS PROJECT.
 - ALL CONTRACTORS SHALL FULLY FAMILIARIZE THEMSELVES WITH THE SITE AND THE SET OF DRAWINGS BEFORE SUBMITTING BIDS.
 - THE GENERAL OR PRIME CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL APPLICABLE BUILDING CODES AND IS REQUIRED TO NOTIFY THE ENGINEER IMMEDIATELY IF A DISCREPANCY OR CLARIFICATION IS FOUND OR NEEDED AND WILL REQUEST INFORMATION AS TO HOW TO RESPOND PRIOR TO EXECUTING ITEMS WITH AN IDENTIFIED ISSUE.
 - ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO THE FRAMING ON THE FLOOR OR ELEVATION CALLED OUT ON THAT SPECIFIC DETAIL.
 - ALL WORK SHALL BE PERFORMED BY PERSONS SKILLED IN THEIR RESPECTIVE TRADES. IN THE CASE OF THE PROPERTY OWNER PERFORMING WORK ON THEIR OWN PREMISES, ALL WORK WILL BE HELD TO THE QUALITY MEASURES OUTLINED BY RESPECTIVE BUILDING CODES. IT IS RECOMMENDED THAT THE PROPERTY OWNER ONLY COMPLETE WORK THAT HE OR SHE IS FULLY COMPETENT TO COMPLETE.
 - DO NOT SCALE AND INFER DIMENSIONS FROM THE DRAWINGS UNLESS THE SCALE OF THE REFERENCED DRAWING IS SPECIFICALLY STATED IN THE DOCUMENT, DRAWINGS WITH NO SCALE SPECIFICALLY STATED ARE NOT DRAWN TO SCALE AND SHOULD ONLY BE USED FOR VISUAL INTERPRETATION PURPOSES.
 - ALL CONTRACTORS OR PERSONS PERFORMING THE WORK DETAILED IN THIS DRAWING SET SHALL CHECK ALL DIMENSIONS, ASSEMBLIES, AND CONNECTIONS, AND REPORT IN WRITING IF THERE ARE ANY INCONSISTENCIES PRIOR TO BIDDING, STARTING WORK, ORDERING MATERIALS, OR MANUFACTURING ITEMS FOR THE ACTION.
 - ALL USER REQUESTED CHANGES POST APPROVED PERMITTING ACTION SHALL BE REQUESTED IN WRITING BY THE OWNER OR PRINCIPAL CONTRACTOR VIA APPROVED CHANGE ORDER PAPERWORK. IF CHANGES ARE REQUESTED AND ARE TO BE MADE THAT RESULT IN A REQUIRED RE-SUBMISSION TO THE MUNICIPAL APPROVAL AUTHORITY, THE PROPERTY OWNER WILL BEAR THE FINANCIAL BURDEN OF SUCH ACTION. ALL CHANGES AND OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BY THE ENGINEER BEFORE BEING INCORPORATED INTO THE WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR REVIEW PRIOR TO WORK. THE ENGINEER SHALL THEN PERFORM AN INTERPRETATION OR RENDER A SUITABLE SOLUTION. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES AND/OR DELAYS SHOULD THE CONTRACTOR FAIL TO PERFORM THEIR WORK IN A SKILLED MANNER OR IN WORK THAT IS NOT IN ACCORDANCE WITH THE PLANS OR SPECIFICATIONS PROVIDED.
 - NOTIFY AND SCHEDULE REQUIRED VISITS, ADDITIONAL CONSULTATIONS WITH THE ENGINEER AS REQUIRED WITH 72 HOURS IN ADVANCE WITH ANY ISSUES.
 - THE GENERAL CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS AND/OR SAMPLES OF ASSEMBLIES, EQUIPMENT, MATERIALS, AND FINISHES TO THE ENGINEER FOR ACCEPTANCE PRIOR TO THE FABRICATION AND OR INSTALLATION. IF THE CONTRACTOR DOES NOT PROVIDE SHOP DRAWINGS OF THE SPECIFIED ASSEMBLY, AND THE ASSEMBLY THAT IS INSTALLED IS NOT IN ACCORDANCE WITH THE PLAN PROVIDED IN THIS SET OF SPECIFICATIONS, THE CONTRACTOR MAY BE LIABLE TO MAKE CHANGES AT THEIR EXPENSE IN ORDER TO ACCOMPLISH THE INTENT OF THE DESIGN. THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR FAULTY OR INFERIOR APPLICATIONS OF SPECIALTY CONNECTIONS WITHOUT THE SUBMISSION & REVIEW OF APPROVED SHOP DRAWINGS.
 - UNLESS OTHERWISE NOTED OR AGREED UPON, THE ENGINEER HAS NOT BEEN RETAINED FOR FIELD SUPERVISION DURING CONSTRUCTION. THE CONTRACTOR OR OWNER SHALL FILE FOR BUILDING PERMIT AND SECURE A CERTIFICATE OF OCCUPANCY.
 - CONTRACTOR IS TO PROTECT THE PUBLIC AND PREMISES DURING THE PERIOD OF CONSTRUCTION WITH ADEQUATE SHORING, BRACING, FENCING, LIGHTING, ETC.



EXISTING SITE CONDITIONS NOTES:

THE EXISTING SITE OF 230 2ND STREET IS CURRENTLY VACANT WITH THE EXCEPTION OF A MEMORIAL GARDEN AND PARKING AREA. THE PARCEL WAS RECENTLY ENLARGED VIA A LOT LINE CHANGE AND SUBDIVISION ACTION (PLEASE SEE FILED SUBDIVISION MAP WITH THE CITY OF TROY PLANNING BOARD THAT WAS FILED ALONGSIDE THIS SITE PLAN).

SURVEY NOTES: SURVEY DATA WAS TRANSCRIBED FROM A PROPERTY SURVEY THAT WAS SUPPLIED BY THE OWNER. THIS SURVEY WAS PERFORMED BY A LICENSED LAND SURVEYOR REGISTERED AND ACTIVE IN NEW YORK STATE AT THE TIME OF THE SURVEY. THIS PROPERTY SURVEY WAS REPLICATED AND ASSUMPTIONS MADE FROM THIS SURVEY HAVE DIRECT REFLECTIONS IN THIS DESIGN. SURVEY PERFORMED ON DATE: 22JUL24 SURVEY PERFORMED BY: ANDREW SCHAUFFERT, L.L.S. No. 049901

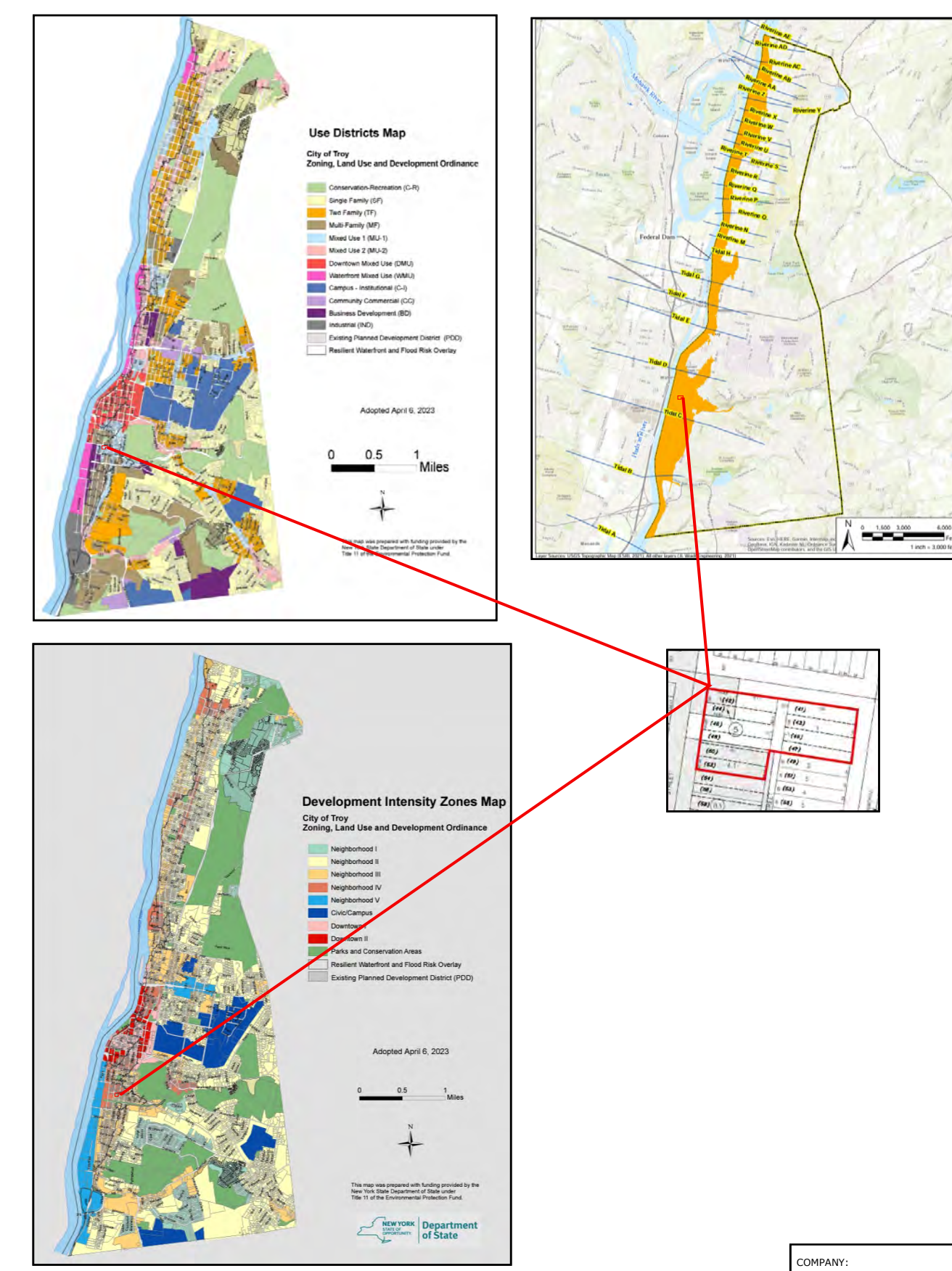


CITY OF TROY ZONING MAPS (2023)

MIXED USE 1 - NEIGHBORHOOD IV DISTRICT ZONING TABLE

HISTORIC DISTRICT: NO

FLOOD ZONE: YES - TIDAL ZONE C



| PLAN INFORMATION | |
|--|---|
| APPLICANT: BARB NELSON TAP INC. 210 RIVER STREET TROY, NY 12180 ADMIN@TAPINC.ORG 518-274-3050 | |
| SUBJECT PROPERTY AND PROPERTY OWNERS: TAP INC. (230 2ND STREET - TAX ID: 100.84-5-4.1) 210 RIVER STREET TROY, NY 12180 518-274-3050 | |
| TABLE OF SYMBOLS | |
| BENCHMARK DATUM POINT | IDENTIFICATION (BM ID) ELEVATION (FT) STA. 0+00.00 STATION LABEL |
| DRAWING ORIENTATION | PROJECT NORTH FILE NORTH |
| SECTION | SECTION IDENTIFICATION NUMBER |
| DETAIL CALLOUT | DETAIL IDENTIFICATION NUMBER DETAIL DRAWING LOCATION DETAIL CALLOUT |
| DETAIL DRAWING | DETAIL IDENTIFICATION NUMBER DETAIL TITLE SCALE: 1" = 1'-0" |
| DRAWING SCALE | SCALE INCHES (1"=4") SCALE: 1" = 20' SCALE CONVERSION |

| COMMON ABBREVIATIONS REFERENCED | |
|---------------------------------|-------------------------|
| W/O: IN ACCORDANCE WITH | CU: CUBIC YARD |
| P.T.: PRESSURE TREATED | O.C.: ON CENTER |
| SF: SQUARE FOOT | W/O: WITH OUT |
| CF: CUBIC FOOT | TBD: TO BE DETERMINED |
| CL: CENTER LINE | SO: SCHEDULE |
| CY: CUBIC YARD | T.A.: TRIBUTARY AREA |
| | EOR: ENGINEER OF RECORD |

| DESIGN PROFESSIONALS | | | | | |
|----------------------|------------------|------|-------|-------------|-------------|
| # | NAME | TYPE | STATE | LIC. NUMBER | SHEETS REF. |
| 1. | NATHANIEL GOODEN | PE | NY | 105240 | ALL |

| KEY REFERENCES | | | |
|------------------|------------------------------|----------------------|-------------------------|
| REFERENCE NUMBER | REFERENCE NAME | REFERENCE AS OF DATE | REFERENCE OBTAINED FROM |
| 1. | NYS BUILDING CODE | JUNE 2020 | DOBANY.GOV |
| 2. | NYS STORMWATER DESIGN MANUAL | JAN 2015 | NYS DEC |

| PAGE # | SHEET INDEX | SHEET NAME |
|--------|-------------|-----------------------------------|
| 1 | C1 | EXISTING CONDITIONS |
| 2 | C2 | PROPOSED SITE PLAN - OVERVIEW |
| 3 | C3 | PROPOSED SITE PLAN - LANDSCAPING |
| 4 | C4 | DEMOLITION PLAN |
| 5 | C5 | GRADING PLAN |
| 6 | C6 | STORMWATER PLAN |
| 7 | C7 | HARDSCAPE / PARKING PLAN |
| 8 | C8 | EROSION AND SEDIMENT CONTROL PLAN |
| 9 | C9 | UTILITY PLAN |
| 10 | C10 | LIGHTING PLAN |
| 11 | C11 | CONSTRUCTION DETAILS 1 |
| 12 | C12 | CONSTRUCTION DETAILS 2 |
| 13 | C13 | CONSTRUCTION DETAILS 3 |
| 14 | C14 | CONSTRUCTION DETAILS 4 |

WARNING: IT IS A VIOLATION OF NEW YORK STATE EDUCATIONAL LAW (SECTION 7092), FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, THE ALTERING PERSON SHALL COMPLY WITH THE REQUIREMENTS OF NEW YORK EDUCATIONAL LAW SECTION 7092.

ONLY MAPS OR DRAWINGS WITH EMBOSSED OR TRUE INK SEALS WITH THE SIGNATURE AND DATE OF THE PROFESSIONAL ENGINEER ARE GRANTED COPIES OF THE ORIGINAL WORK AND OPINION. MAPS NOT BEARING EMBOSSED OR TRUE INK SEALS WITH A CORRELATED SIGNATURE SHOULD NOT BE HELD UPON SINCE OTHER COPIES MAY CONTAIN UNAUTHORIZED AND UNRETRIEVABLE MODIFICATIONS, DELETIONS, ADDITIONS, AND OR CHANGES.

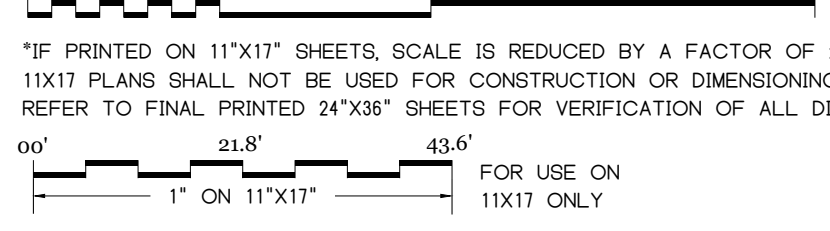
NO ONE EXCEPT THE ENGINEER WHOSE NAME AND SIGNATURE THAT HAVE BEEN AFFIXED TO THIS DOCUMENT OR SET OF DOCUMENTS MAY MAKE ANY ALTERATION WITHOUT EXPRESS WRITTEN CONSENT OF THIS INDIVIDUAL.

OWNERSHIP OF DOCUMENTS: THE ENGINEER IN THIS TRANSACTION PROVIDES A SERVICE TO THE OWNER OR CLIENT NOT A PRODUCT OR WORK FOR HIRE. THESE AND OTHER DOCUMENTS ARE PRODUCED IN CONFORMANCE OF INFORMATION AND ARE INSTRUMENTS OF THAT SERVICE PROVIDED. THE CLIENT OR OWNER DOES NOT OWN THE DOCUMENTS NOR ARE THEY TO BE USED WITHOUT EXPRESS CONSENT AND CONSULTATION OF THE ENGINEER. ALL INSTRUMENTS OF SERVICE ARE ALL RIGHTS RESERVED BY THE ENGINEER.

ANYONE WHO CHANGES TO HAVE THESE DOCUMENTS ALTERED IN ANY WAY WITHOUT THE CONSENT OF THE ENGINEER WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

| | | | |
|---|------------------------------|---|--|
| COMPANY: CAESAR ENGINEERING D.P.C. CONTACT: (518) 279-6156 contact@caesarengineering.com | DATE: 30DEC24 | PROJECT SPONSOR NUMBER: 518-274-3050 | DRAFT FOR PLANNING BOARD NOT FOR CONSTRUCTION |
| CONTRACT ADDRESS: 30 3RD ST FIRST FLOOR TROY, NY 12180 | DESIGNED BY: NG | PROJECT SPONSOR ADDRESS: 210 RIVER STREET TROY, NY 12180 | |
| PROJECT: ADLER PLACE | PROJECT NAME: P243 | PROJECT ADDRESS: 230 2ND STREET TROY, NY 12180 | |

SCALE: 1" = 20' (ARCH D)



IF PRINTED ON 11"x17" SHEETS, SCALE IS REDUCED BY A FACTOR OF x0.4583 (SEE SCALE BELOW)
 11X17 PLANS SHALL NOT BE USED FOR CONSTRUCTION OR DIMENSIONING.
 REFER TO FINAL PRINTED 24"x36" SHEETS FOR VERIFICATION OF ALL DIMENSIONS.

FOR USE ON 11X17 ONLY

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SITE PLAN LEGEND

- UTILITY POLE
- PROPERTY BOUNDARY
- PROPOSED BUILDING
- EXISTING SEWAGE MANHOLE / ACCESS
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SEWER LINE
- EXISTING WATER LINE
- CURB
- EXISTING STORMWATER DRAIN

SITE - CIVIL GENERAL NOTES:

1. CONTRACTOR, AT THEIR OWN EXPENSE, SHALL ABIDE BY THE LATEST EDITIONS OF ALL OSHA REGULATIONS AND REQUIREMENTS.
2. ALL QUANTITIES SHOWN ON THE DRAWING ARE ESTIMATED QUANTITIES ONLY. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND ASCERTAIN IN THE FIELD, ALL EXISTING UTILITIES, EXISTING CONDITIONS, FIELD MEASUREMENTS, DIMENSIONS, AND QUANTITIES RELATED TO THE PROJECT.
3. ALL WORK SHALL BE PERFORMED BY THOSE WHO ARE SKILLED IN THEIR TRADE TO PRODUCE A FIRST CLASS JOB. THE CONTRACTOR IS ADVISED THAT WORK DEEMED UNSUITABLE, IMPROPER, OR SECOND CLASS IN NATURE BY THE INSPECTING AUTHORITY OR MUNICIPALITY SHALL BE DEEMED NON-ACCEPTABLE AND THE CONTRACTOR SHALL REMOVE, REPLACE, RE-DO, TO THE SATISFACTION OF THE INSPECTING AUTHORITY AT NO ADDITIONAL COST TO THE OWNER.
4. ROADWAYS, BUILDING EMERGENCY ACCESS AREAS, AND BUILDING ENTRY AND EXITS AREAS ARE TO BE KEPT CLEAR AT ALL TIMES.
5. CONTRACTOR SHALL USE DIG SAFELY NY. "CALL 811".
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND ASCERTAIN THE LOCATION, DEPTH, DIRECTION, AND SIZE OF ANY AND ALL UTILITIES EXISTING IN THE GENERAL VICINITY OF THE WORK AREA.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY UTILITY DISRUPTED, BROKEN OR OTHERWISE RENDERED NON-FUNCTIONAL DUE TO THE WORK PERFORMED.
8. THE CONTRACTOR SHALL IDENTIFY ANY NON-FUNCTIONING UTILITY/SYSTEM, PRIOR TO THE START OF WORK TO ORANGE COUNTY. IDENTIFICATION OF SUCH AFTER THE START OF WORK SHALL BE DEEMED AS DISTURBED/DAMAGED BY THE CONTRACTOR AND SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SUPPORT ANY UTILITY ENCOUNTERED IN THE COURSE OF THIS WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR SHALL ADD BARRIERS, SECURE ALL EXTERIOR WORK AND STAGING AREAS WITH ACCEPTABLE FENCING.
12. THE CONTRACTOR SHALL NOT LEAVE THE WORK AREA UNATTENDED FOR ANY REASON, UNLESS SAFETY PARTITIONS, SAFETY FENCING AND COVERING FOR ALL OPEN TRENCHES ARE INSTALLED AND SECURED.
13. THE CONTRACTOR SHALL LEAVE THE WORK SITE CLEAN AND SECURED AT THE END OF EACH WORKING DAY. THE WORK SITE SHALL NOT BE LEFT UNATTENDED AT ANY TIME BY THE CONTRACTOR UNLESS THE WORK AREA IS PROPERLY SECURED BY THE CONTRACTOR.
14. THE CONTRACTOR IS ADVISED THAT THEY ARE SOLELY RESPONSIBLE FOR THE SAFETY OF THE WORK SITE AND SHALL TAKE ALL ACTIONS TO ELIMINATE ANY SAFETY HAZARDS THAT SHALL EXIST AND POSE A THREAT OF HARM TO PEDESTRIANS, RESIDENTS, AND EMPLOYEES OF THE CONTRACTOR OR OTHER(S). IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO TAKE IMMEDIATE ACTION TO ALLEVIATE ANY SAFETY HAZARD THAT MAY EXIST WITHOUT DIRECTION FROM THE CITY OF TROY OR RENSSELAER COUNTY.
15. CONTRACTOR SHALL SAW CUT WITH PROPER BLADE ANY ROADS, CURBS AND SIDEWALKS ENCOUNTERED IN THE COURSE OF THIS WORK.
16. ALL HOLES SHALL BE CORE-DRILLED WITH DIAMOND CORE BITS.
17. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ANY AND ALL DEBRIS FROM THE SITE DAILY AND DISPOSE OF SAME OFF SITE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
18. THE CONTRACTOR SHALL MAINTAIN THE WORK SITE IN A NEAT AND CLEAN CONDITION. THE WORK SITE SHALL BE CLEANED DAILY OF CONSTRUCTION DEBRIS
19. SUB-GRADE FILL TO BE COMPACTED TO 95% STANDARD PROCTOR RELATIVE DENSITY AND PAVEMENT AREAS SHALL HAVE SUB-GRADE COMPACTED TO 95% MODIFIED RELATIVE DENSITY PER AASHTO REQUIREMENTS.
20. ALL ESTABLISHED EGRESS ROUTES SHALL REMAIN CLEAR AT ALL TIMES.
21. ALL WORK SHALL BE CONDUCTED WITHIN THE APPROVED FENCING PLAN AREA.
22. ALL CONSTRUCTION VEHICLES WILL HAVE A FUNCTIONING BACKUP ALARM.
23. CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL AND STATE PERMITS PRIOR TO COMMENCEMENT OF WORK.



PROPOSED CONDITIONS NOTES

TWO NEW BUILDINGS ARE PROPOSED FOR THE SITE WHICH COMPRISES A NEW LOT CREATED VIA SUBDIVISION ACTION AND LOT LINE ADJUSTMENT BETWEEN TAX PARCELS 100.84-5-1, 100.84-5-4.1, AND TAX PARCEL 101.77-1. ON THE SITE PLAN THIS NEW CONSTRUCTION IS LABELED "BUILDING S" AND "BUILDING F". BUILDING F WILL PROVIDE 13 PARKING SPACES, TO INCLUDE 2 ADA SPOTS AND 2 EV CHARGING SPOTS. AN INTERNAL COURTYARD AND STORMWATER RETENTION SYSTEM IS PROPOSED BETWEEN BUILDINGS F AND S.

PROPOSED BUILDING INFORMATION

PROPERTY: 230 2ND STREET
 TAX MAP #: 100.84-5-4.1

ZONE: MU-1 MIXED USE 1 / NEIGHBORHOOD IV
 LOT CHARACTERISTICS:
 LOT AREA: 23,142 SF, 0.531 ACRES

PROPOSAL: CONSTRUCTION OF (2) NEW 3-STORY RESIDENTIAL BUILDINGS
 BUILDING TYPE: (2) THREE-STORY MASONRY
 CURRENT PROPERTY USE: RESIDENTIAL

SETBACKS:
 FRONT: REQUIRED 0' MIN. / 10' MAX.
 REAR: REQUIRED 5' MIN.
 SIDES: REQUIRED 0' MIN. / 5' MAX.
 LOT COVERAGE: REQUIRED 80%
 BUILDING HEIGHT: REQUIRED 20-50 FEET MAX.

PROPOSED SETBACKS:
 FRONT: 0'-0"
 REAR: 0'-0"
 SIDES: 0'-0"
 LOT IMPERVIOUS COVERAGE: 62.5%
 BUILDING HEIGHT: 40'+/-

PARKING REQUIRED = N/A
 PROPOSED = 13
 GARBAGE REMOVAL: PROPOSED DUMPSTER ENCLOSURE ON FRANKLIN STREET SIDE

PROPOSED BUILDING INFORMATION

| PROPOSED BUILDING / FEATURE | UNITS | BUILDING / GROUND FOOTPRINT SQUARE FOOTAGE | TOTAL SQUARE FOOTAGE |
|--|-------|--|----------------------|
| BUILDING S | 17 | 6,333 SF | 19,302 SF |
| BUILDING F | 13 | 3,844 SF | 14,781 SF |
| BUILDING F PARKING | N/A | 2,888 SF | 2,888 SF |
| CENTRAL COURTYARD AND LESLIE'S GARDEN* | N/A | 10,045 SF +/- | 10,045 SF +/- |

*PERMEABLE PAVERS AND GRASSED AREAS WILL BE CONSTRUCTED THROUGHOUT THE CENTRAL COURTYARD AND LESLIE'S GARDEN, REDUCING IMPERVIOUS SURFACES TO 62.5% OF THE TOTAL AREA. SEE SHEET 01 FOR HARDSCAPE PLAN.

SCALE: 1" = 20' (ARCH D)

IF PRINTED ON 11"x17" SHEETS, SCALE IS REDUCED BY A FACTOR OF x0.4583 (SEE SCALE BELOW)
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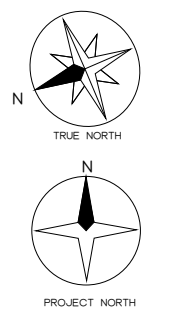
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| COMPANY: CAESAR ENGINEERING D.P.C. CONTACT: (518) 279-6156 contact@caesarengineering.com | DATE: 30DEC24 DRAWN BY: NG | PROJECT SPONSOR NUMBER: 518-274-3050 PROJECT SPONSOR: N. GOODEN, P.E. PROJECT SPONSOR ADDRESS: 210 RIVER STREET TROY, NY 12180 | DRAFT FOR PLANNING BOARD NOT FOR CONSTRUCTION |
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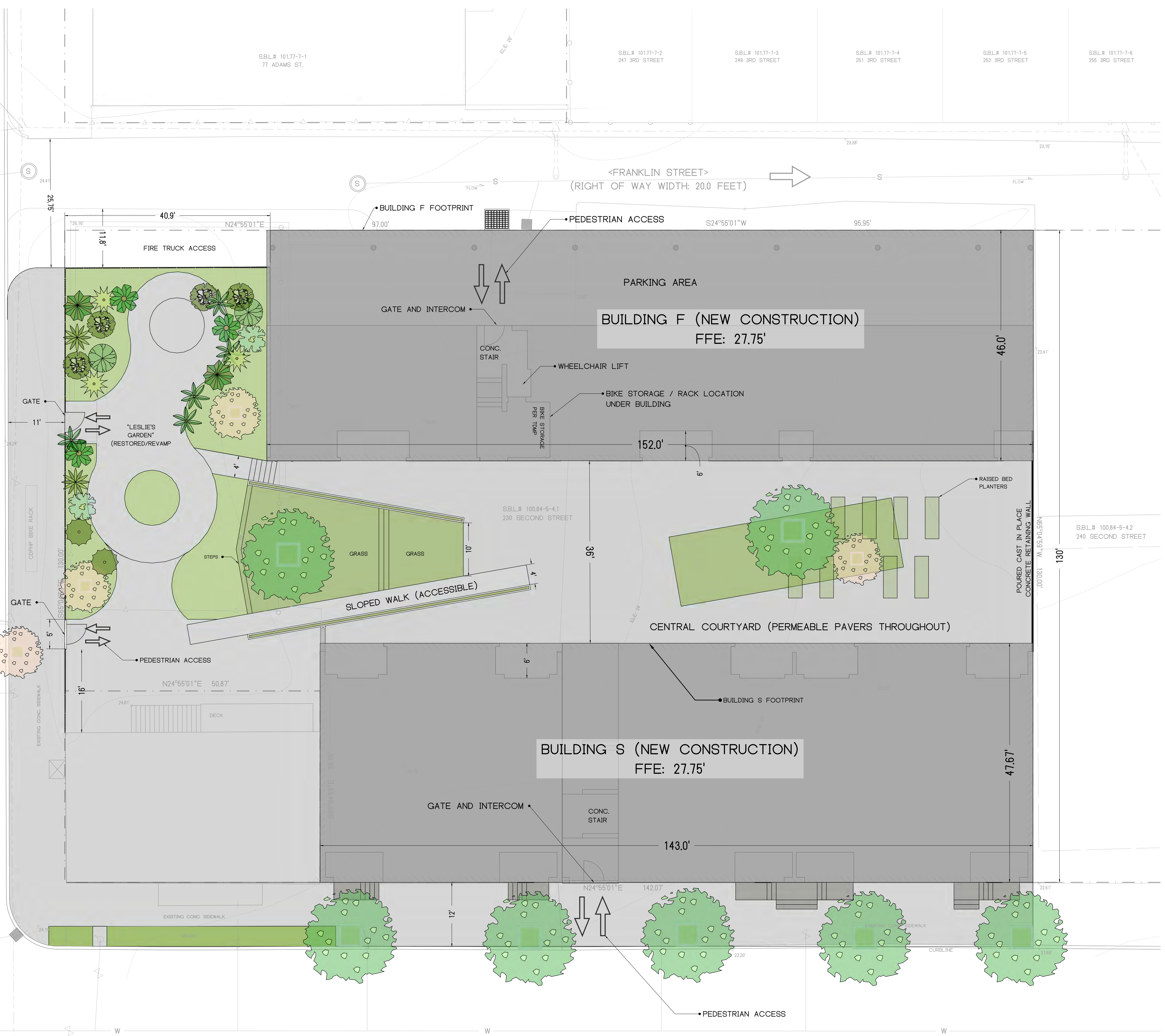
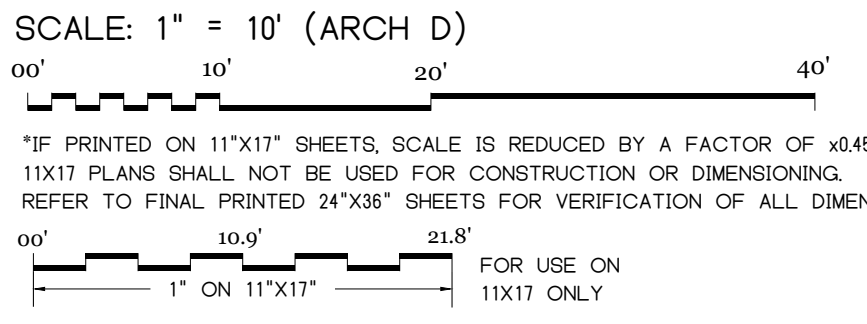
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| DATE | REVISION DESCRIPTION | REV # |
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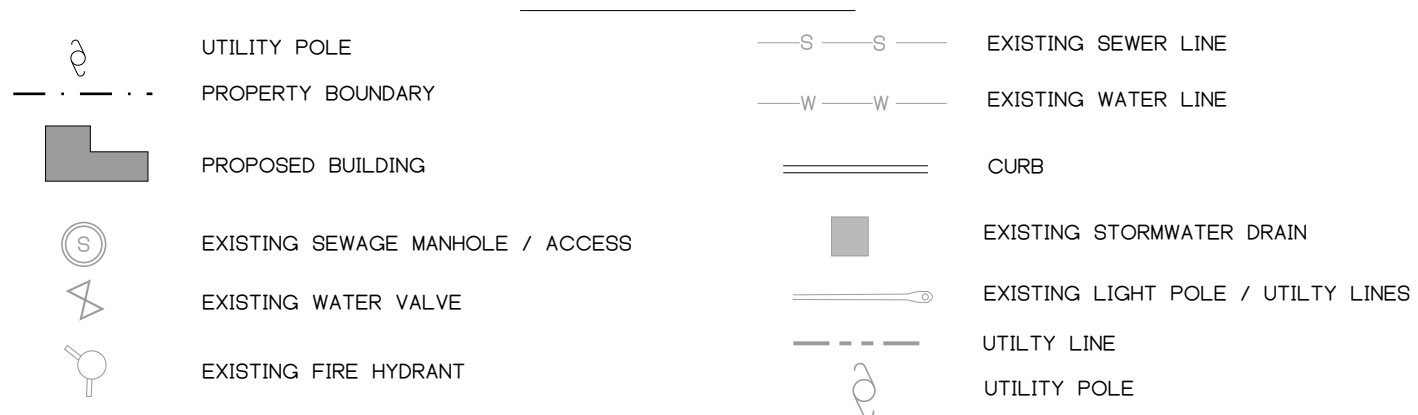
C2
PROPOSED SITE PLAN - OVERVIEW
SHEET 2 OF 6 TOTAL SHEETS



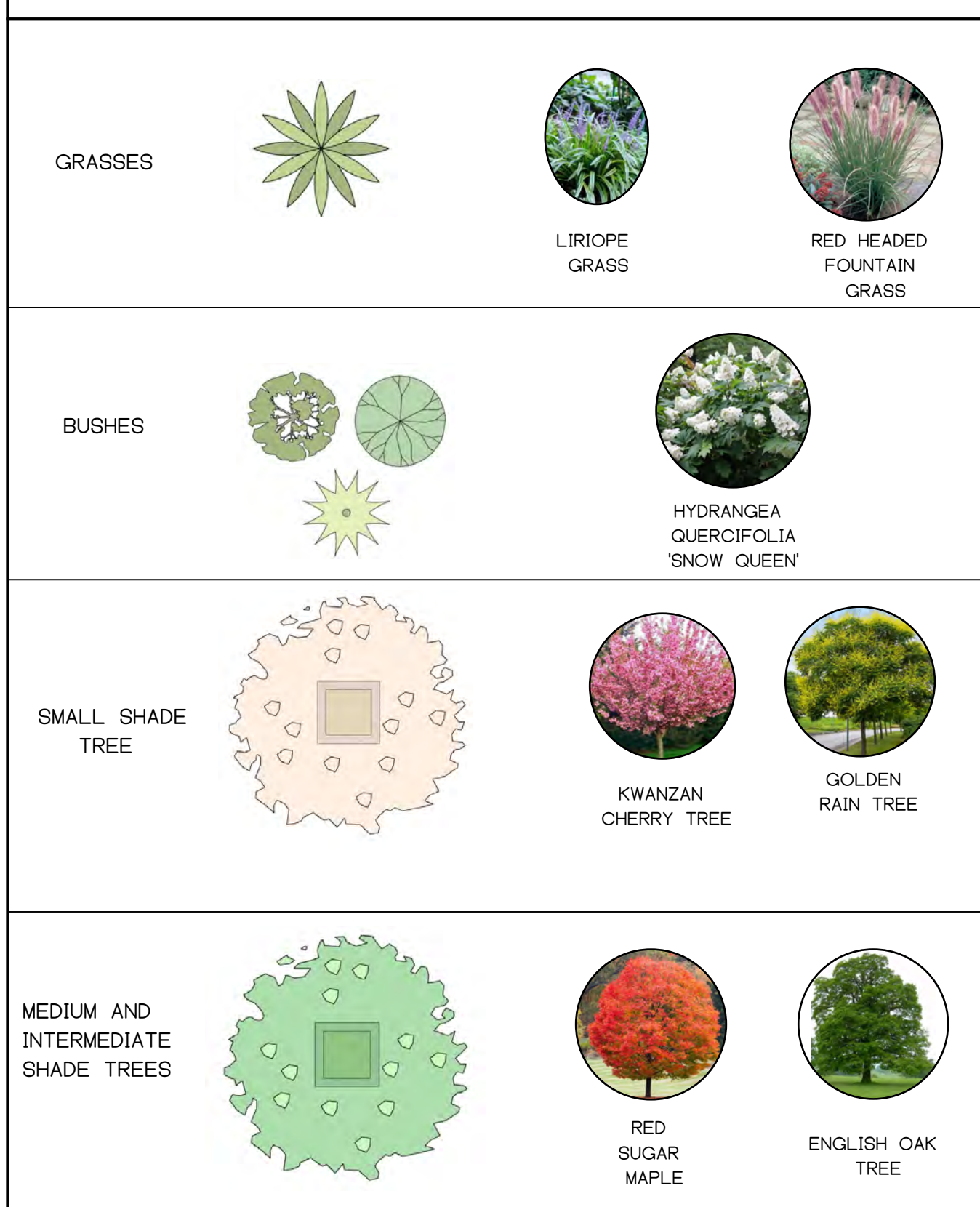
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PLAN LEGEND



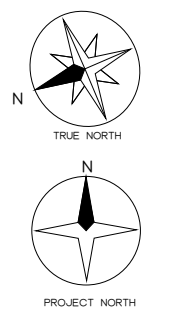
PLANTING LEGEND



PLANTING & LANDSCAPING GENERAL NOTES

- PROJECT SPONSOR OR ARCHITECT MAY SELECT FROM THE PLANT SPECIES ABOVE OR ADD ADDITIONAL PLANTS OF A SIMILAR VARIETY TO THE PROPOSED PLAN AS NEEDED. ANY DESIGN CHANGES DUE TO UNKNOWN SITE CONDITIONS MUST BE COMMUNICATED TO THE PROJECT SPONSOR FOR APPROVAL.
- ALL PLANT MATERIALS MUST ADHERE TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z601-2014.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIALS DELIVERED TO THE SITE OR PLANTED UNTIL THE ENTIRE SCOPE OF THE AGREED-UPON LANDSCAPE WORK IS COMPLETE.
- WIRE BASKETS MUST BE EITHER REMOVED OR CUT AWAY FROM THE ROOT BALL AFTER THE PLANT IS PLACED IN THE PLANTING HOLE.
- A SOIL PH TEST IS STRONGLY RECOMMENDED BEFORE PLANTING BEGINS.
- COMPLETELY REMOVE ALL EXISTING UNWANTED PLANT MATERIAL, WEEDS, AND THEIR ROOT SYSTEMS FROM PLANTING BEDS BEFORE INSTALLING NEW PLANTS. ROUND-UP MAY BE NECESSARY FOR ELIMINATING INVASIVE OR STOLONIFEROUS WEEDS, AND ONLY A LICENSED PROFESSIONAL MAY APPLY IT.
- USE ONLY NON-DYED NATURAL MULCH, APPLYING IT TO A DEPTH OF 2" - 3".
- STAKE ANY TREES OR PLANTS THAT MAY BE VULNERABLE TO HIGH WIND LOADS.
- FOR AUTOMATIC IRRIGATION SYSTEMS, THE LANDSCAPE CONTRACTOR MUST PROVIDE PROOF OF CERTIFICATION AS A CID, CIC, OR CIT BY THE IRRIGATION ASSOCIATION.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL AND STATE CODES AND FOR OBTAINING ANY REQUIRED PERMITS.
- THE LANDSCAPE CONTRACTOR MUST COORDINATE THE PLANTING SCHEDULE WITH THE OWNER.
- BURLAP MUST BE REMOVED OR CUT AWAY FROM THE ROOT BALL, AFTER PLANTING THE PLANT. PLANTING HOLES SHOULD BE AT LEAST 60% WIDER THAN THE ROOT BALL, OR CONTAINER ROOT MASS. 6A. INDIGENOUS SOIL USED FOR MAJOR TREES SHOULD NOT BE AMENDED UNLESS IT IS ROCKY OR OTHERWISE UNSUITABLE. 6B. FOR BACKFILLING SHRUBS, PERENNIALS, AND GROUND COVERS, INCORPORATE 60% ORGANIC SOIL MEDIA AND SLOW-RELEASE FERTILIZER AS DIRECTED. GROUND COVER AREAS MAY NEED MECHANICAL TILLING TO ACHIEVE A FRIABLE SOIL TEXTURE. 6C. REMOVE ANY SOIL GLAZING CREATED BY THE BACK OF THE SHOVEL BY REVERSING THE SHOVEL AND LOOSENING THE PLANTING HOLE.
- HYDRANGEA PANICULATA CAN BE PRUNED IN THE FALL, WINTER, OR EARLY SPRING. LITTLE QUICK FIRE DOES NOT NEED PRUNING AND WILL GROW TO A SIZE OF 4x4'.
- LIRIOPE CAN BE CUT WITH A TYPICAL HAND LAWN MOWER SET AT 3" IN LATE FALL OR EARLY SPRING BEFORE NEW FOLIAGE APPEARS.
- GRASSES AND PERENNIALS SHOULD BE CUT BACK IN THE FALL, OR EARLY SPRING BEFORE NEW GROWTH BEGINS. IDEALLY, GRASSES SHOULD BE PRUNED NO LOWER THAN 18", THOUGH 12" IS THE MINIMUM.

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| PROJECT ADDRESS: 30 3RD ST. FIRST FLOOR: TROY, NY 12180 | DRAWN BY: NG | PROJECT SPONSOR ADDRESS: 210 RIVER STREET TROY, NY 12180 | |
| PROJECT: ADLER PLACE | PROJECT NAME: P241 | PROJECT ADDRESS: 230 2ND STREET TROY, NY 12180 | SHEET IDENTIFICATION C3 PROPOSED SITE PLAN - LANDSCAPING SHEET 2 OF 16 TOTAL SHEETS |



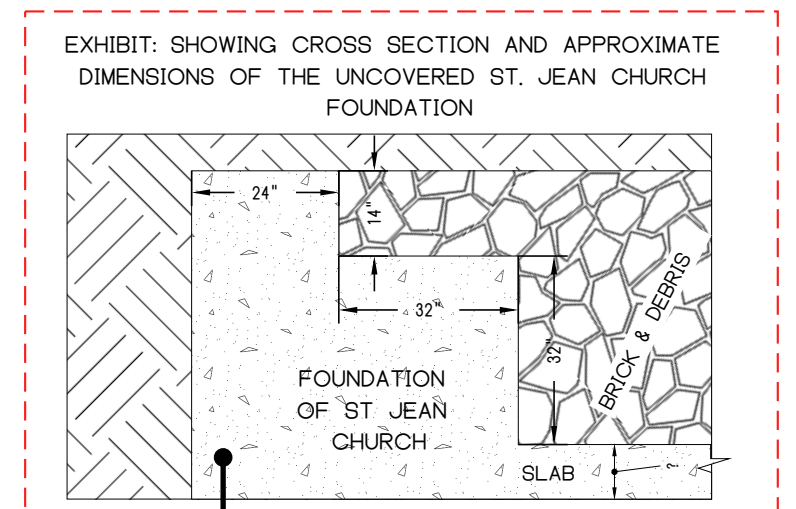
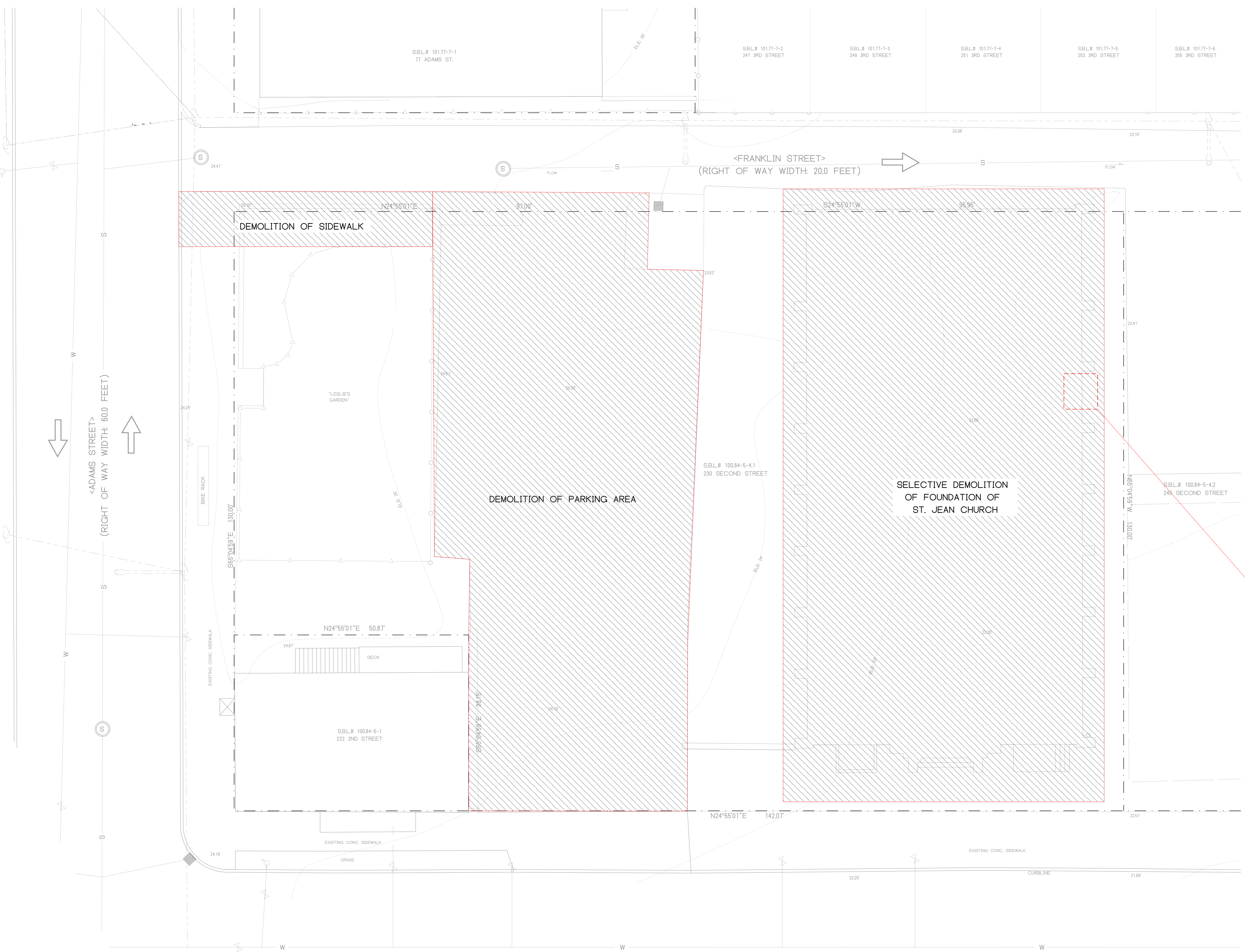
SITE PLAN LEGEND

- PROPERTY BOUNDARY
- AREAS TO DEMOLISH

DEMOLITION NOTES:

- BEFORE DEMOLISHING ANY BUILDINGS OR STRUCTURES, THE CONTRACTOR MUST CONDUCT A PRE-DEMOLITION SURVEY ACCORDING TO STATE AND FEDERAL REGULATIONS CONCERNING SOLID WASTE DISPOSAL. OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
- ADHERE TO THE APPLICABLE CODES FOR THE DEMOLITION OF STRUCTURES, ENSURING THE SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF MANAGEMENT, AND THE PROPER HANDLING, DISPOSAL, AND STORAGE OF DEBRIS.
- CONSULT THE EROSION AND SEDIMENT CONTROL PLANS AND NOTES BEFORE STARTING ANY WORK.
- INFORM ADJACENT PROPERTY OWNERS OF ANY WORK THAT MIGHT IMPACT THEIR PROPERTY, INCLUDING POTENTIAL NOISE, UTILITY OUTAGES, OR DISRUPTIONS. COORDINATE WITH THE OWNER ACCORDINGLY.
- TEMPORARY BARRIERS AND SECURITY: PROVIDE, ERECT, AND MAINTAIN ALL NECESSARY TEMPORARY BARRIERS AND SECURITY MEASURES.
- KEEP EXISTING UTILITIES OPERATIONAL AND PROTECT THEM DURING SELECTIVE DEMOLITION ACTIVITIES. DO NOT INTERRUPT UTILITY SERVICES TO FUNCTIONING FACILITIES UNLESS AUTHORIZED IN WRITING BY THE OWNER AND THE APPROPRIATE AUTHORITIES.
- PROTECTION OF ADJACENT STRUCTURES: PREVENT MOVEMENT OR SETTLEMENT OF NEIGHBORING STRUCTURES BY PROVIDING ADEQUATE BRACING AND SHORING.
- IDENTIFICATION OF EXISTING UTILITIES: LOCATE AND IDENTIFY ALL EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. DISCONNECT, SEAL, OR CAP ANY UTILITY SERVICES THAT WILL BE AFFECTED BY THE PROJECT. NOTIFY UTILITY COMPANIES BEFORE BEGINNING WORK AND COMPLY WITH THEIR REQUIREMENTS. ENSURE UTILITIES HAVE BEEN PROPERLY DISCONNECTED AND CAPPED.
- ORDERLY DEMOLITION: CARRY OUT THE DEMOLITION AND REMOVAL OF COMPONENTS IN AN ORGANIZED AND CAREFUL MANNER.
- PROTECTION OF NON-DEMOLITION FEATURES: SAFEGUARD EXISTING FEATURES THAT ARE NOT SCHEDULED FOR DEMOLITION.
- MINIMIZING PUBLIC INTERFERENCE: CONDUCT OPERATIONS WITH MINIMAL DISRUPTION TO PUBLIC OR PRIVATE ACCESS POINTS.
- SITE GRADING: ROUGH GRADE AND COMPACT AREAS IMPACTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS.
- MAINTAINING EGRESS AND ACCESS: ENSURE EGRESS AND ACCESS ARE MAINTAINED AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADS OR SIDEWALKS WITHOUT THE NECESSARY PERMITS. COORDINATE WITH THE RELEVANT AUTHORITIES.
- SAFETY OF ADJACENT STRUCTURES: IMMEDIATELY HALT OPERATIONS IF NEARBY STRUCTURES APPEAR TO BE AT RISK. NOTIFY THE RELEVANT AUTHORITIES.
- FIELD VERIFICATION: VERIFY EXISTING CONDITIONS ON-SITE AND ALIGN WITH THE DEMOLITION PLAN TO DETERMINE THE SCOPE OF SELECTIVE DEMOLITION REQUIRED.
- MINIMIZING INTERFERENCE WITH OPERATIONS: CONDUCT DEMOLITION ACTIVITIES AND DEBRIS REMOVAL IN A WAY THAT MINIMIZES INTERFERENCE WITH OTHER SELECTIVE DEMOLITION OPERATIONS.
- SAFETY CONSIDERATIONS: CARRY OUT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO NEARBY BUILDINGS AND FACILITIES. ENSURE SAFE PASSAGE AROUND THE DEMOLITION AREA.
- REGULATIONS: AVOID USING WATER IN SITUATIONS WHERE IT MAY CAUSE DAMAGE, SUCH AS ICING, FLOODING, OR POLLUTANT TRANSPORT.
- DISPOSAL OF DEMOLISHED MATERIALS: DISPOSE OF DEMOLISHED MATERIALS PROMPTLY. ALL DEBRIS MUST BE TAKEN OFF-SITE TO AN APPROVED FACILITY. DO NOT ALLOW DEBRIS TO ACCUMULATE ON-SITE, AND BURNING OF MATERIALS ON-SITE IS PROHIBITED.
- DEBRIS REMOVAL: REMOVE AND TRANSPORT DEBRIS CAREFULLY TO PREVENT SPILLAGE ONTO ADJACENT SURFACES AND AREAS.
- CLEANING ADJACENT AREAS: CLEAN ADJACENT STRUCTURES AND AREAS OF ANY DUST, DIRT, AND DEBRIS CAUSED BY THE DEMOLITION. RESTORE THESE AREAS TO THEIR ORIGINAL CONDITION BEFORE THE DEMOLITION BEGINS.
- DUST AND DIRT CONTROL: USE WATER MIST, TEMPORARY ENCLOSURES, AND OTHER METHODS TO LIMIT THE SPREAD OF DUST AND DIRT. COMPLY WITH ENVIRONMENTAL PROTECTION.

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SOIL TEST PIT TAKEN IN APRIL 2024



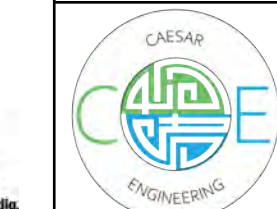
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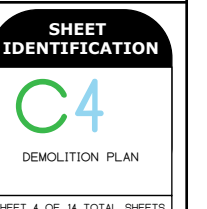
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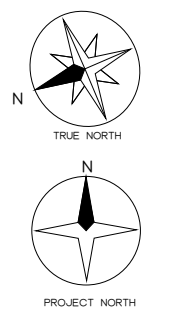
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(RIGHT OF WAY WIDTH: 60.0 FEET)

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| PROJECT ADDRESS: 30 3RD ST, FIRST FLOOR, TROY, NY 12180 | DRAWN BY: NG | PROJECT SPONSOR ADDRESS: 210 RIVER STREET, TROY, NY 12180 | |
| PROJECT: ADLER PLACE | PROJECT NAME: P243 | PROJECT ADDRESS: 230 2ND STREET, TROY, NY 12180 | |



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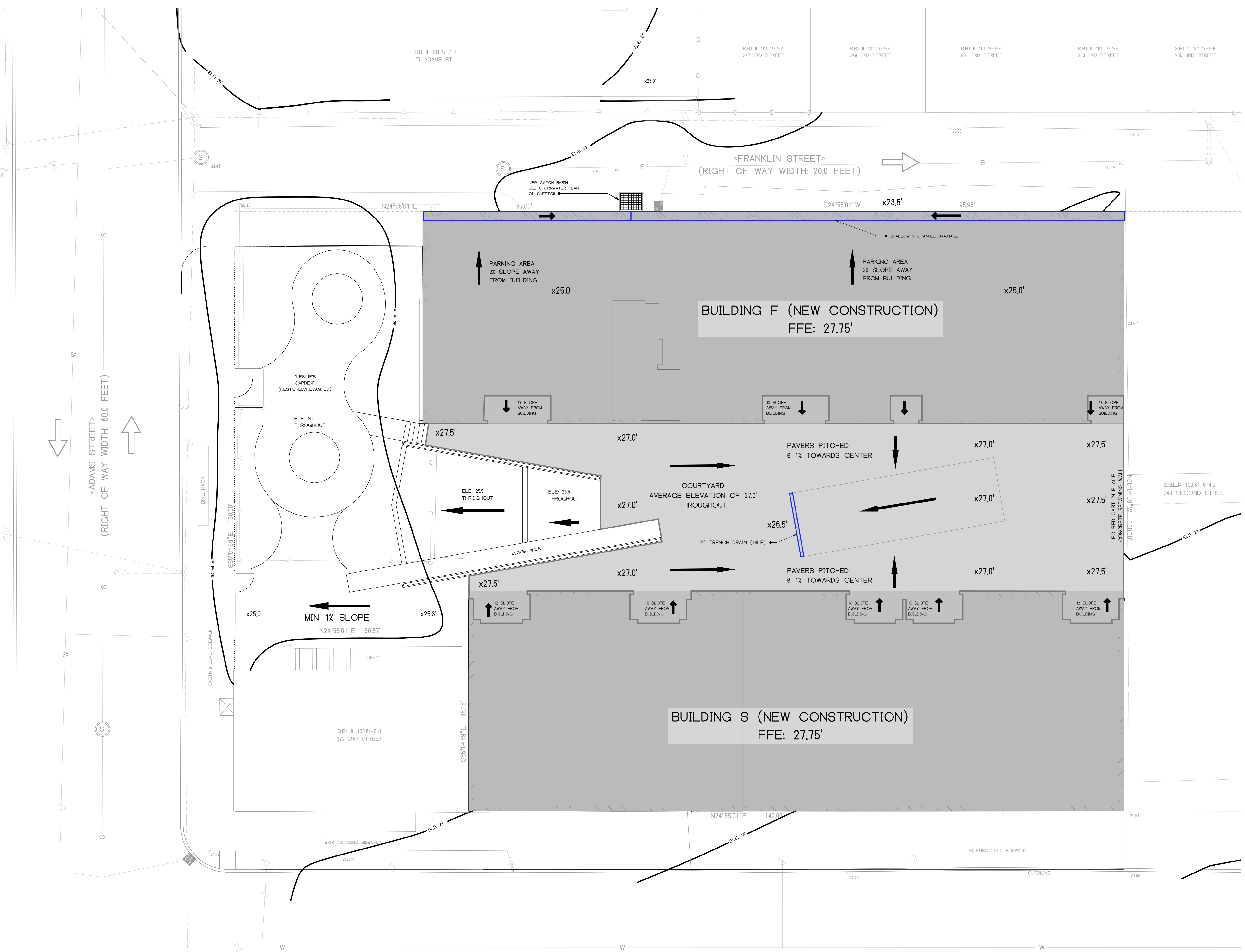
SITE PLAN LEGEND

- UTILITY POLE
- PROPERTY BOUNDARY
- BUILDING
- SEWAGE MANHOLE / ACCESS
- WATER VALVE
- FIRE HYDRANT
- EXISTING SEWER LINE
- EXISTING WATER LINE
- CONTOUR LINES
- CURB
- XXXX SPOT GRADE

PROPOSED CONDITIONS NOTES

NEW BUILDINGS "F" AND "S" WILL BE GRADED TO A FINISHED FLOOR ELEVATION OF 27.75'. THE COURTYARD WILL BE BROUGHT UP TO A GRADE OF 27.50' AND WILL BE GENTLY GRADED TOWARDS TO THE CENTER WHERE A TRENCH DRAIN WILL PROVIDE DRAINAGE. THE PARKING AREA OF BUILDING F WILL BE GRADED GRADUALLY AWAY FROM THE BUILDING AND BE AT THE GENERAL ELEVATION OF 25.0'.

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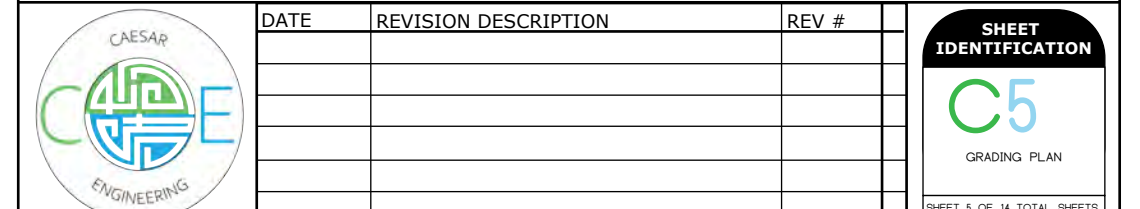
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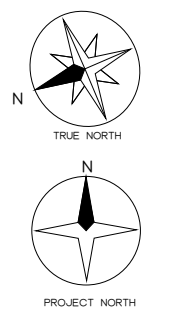
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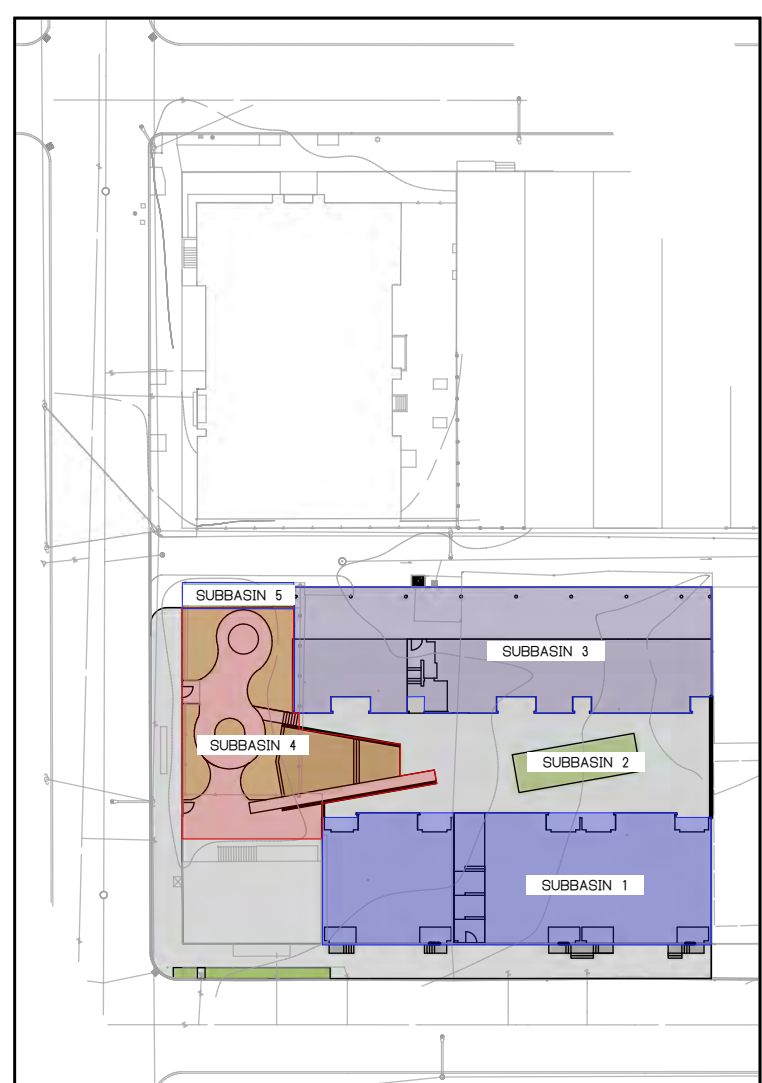
SITE PLAN LEGEND

- - - - - PROPERTY BOUNDARY
- █ BUILDING
- SEWAGE MANHOLE / ACCESS
- - - - - EXISTING SEWER LINE
- - - - - EXISTING WATER LINE
- - - - - PROPOSED STORMWATER LINE
- XXXX SPOT GRADE
- ST STORMWATER CONNECTION

PRE-DEVELOPMENT SUBBASINS

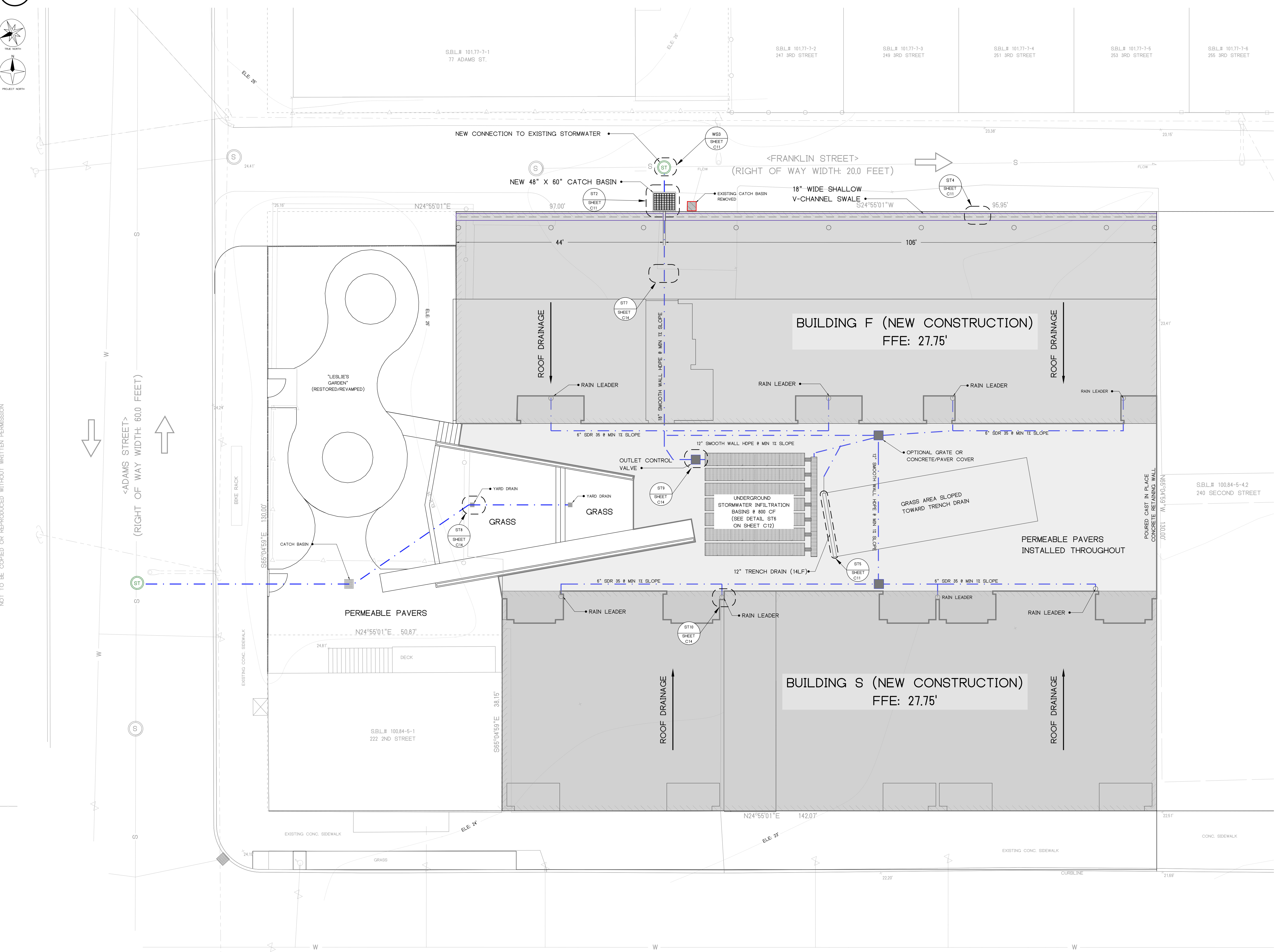


POST-DEVELOPMENT SUBBASINS



| WQv Summary Pre & Post Development | | | |
|------------------------------------|---------------------------|------------|------------|
| | Site SubBasin | Cu-Ft | |
| Pre-Development | 1 (St. Jean Building Lot) | 57 | |
| | 2 (Parking Lot) | 571.7 | |
| | 3 (Leslies Garden) | 95.3 | |
| | Sub-Total | 724 | |
| Post-Development | 1 (Building S) | 571 | |
| | 2 (Courtyard) | 0.0 | |
| | 3 (Building F) | 607.3 | |
| | 4 (Leslies Garden) | 101.5 | |
| | 5 (Fire Truck Access) | 38.8 | |
| Sub-Total | 1,319 | | |
| A Total WQv Change | | Sum | 594 |

- NOTES:
- TOTAL DISTURBANCE IS LESS THAN 1 ACRE.
 - THE STORMWATER INFILTRATION SYSTEM AND PERVIOUS PAVEMENT PROPOSED IS INTENDED TO MITIGATE STORMWATER OUTFLOW FROM THE 24-HOUR RAINFALL EVENT. THE SYSTEM HOWEVER IS NOT DESIGNED TO CAPTURE ALL STORMWATER OUTFLOWS FROM THE SITE, AS SUCH AN OVERFLOW SYSTEM IS PROPOSED TO DIRECT OVERFLOW INTO THE MUNICIPAL STORMWATER SYSTEM.



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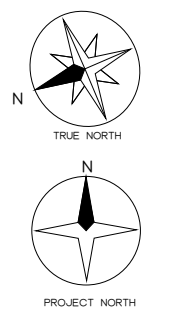
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| DATE | REVISION DESCRIPTION | REV # | SHEET IDENTIFICATION |
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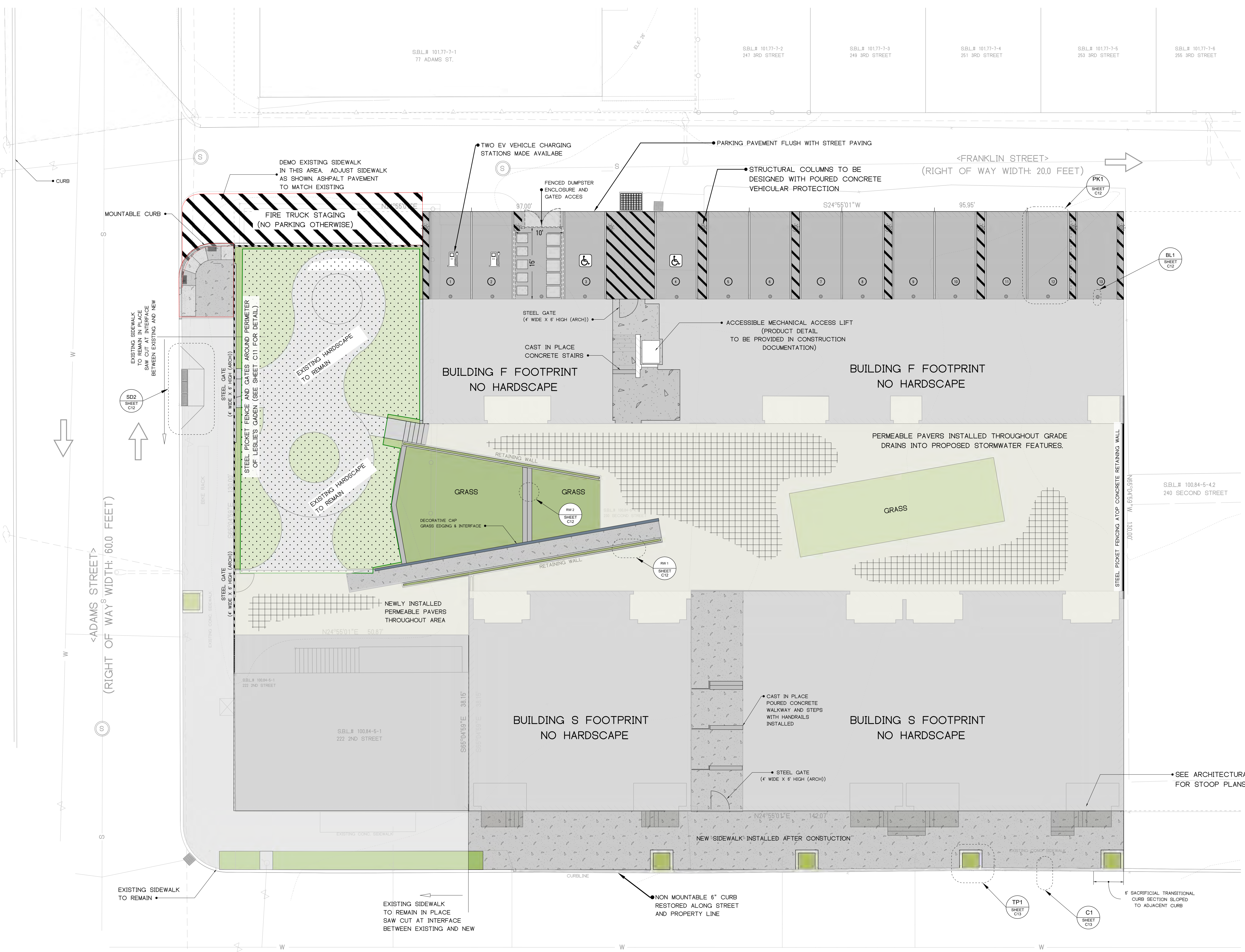
SITE PLAN LEGEND

- UTILITY POLE
- PROPERTY BOUNDARY
- BUILDING
- CONCRETE SURFACE
- SEWAGE MANHOLE / ACCESS
- WATER VALVE
- FIRE HYDRANT
- EXISTING SEWER LINE
- EXISTING WATER LINE
- CURB
- XXXX SPOT GRADE
- PERMEABLE PAVERS
- GRASS (SEEDED)

GENERAL PARKING NOTES:

- AS SHOWN IN THE VEHICLE MANEUVER DEMONSTRATION TO THE LEFT, A TYPICAL SEDAN TYPE DESIGN VEHICLE CAN MANEUVER ADEQUATELY GIVEN THE CONSTRAINTS OF THE GIVEN SITE PLAN.
- BUILDING OFFSET PARKING PROTECTIONS HAVE BEEN PROVIDED TO DISALLOW THE VEHICLES BEING PARKED IN THE COVERED AREA THE ABILITY TO PHYSICALLY INTERACT WITH THE BUILDING. THESE INCLUDE BOLLARD POSTS IN AREAS OF CONCERN AS WELL AS A SIDEWALK & WHEEL STOP BUFFER ALONG THE AREAS OF THE BUILDINGS WHICH ARE ADJACENT TO PARKING SPOTS.
- SEE THE TDP PREPARED BY CAESAR ENGINEERING FOR ADDITIONAL PARKING RELATED INFORMATION.

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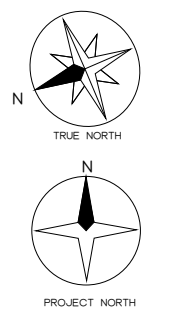
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| | | | | | |
|--|--|---|--|---|--|
| COMPANY: CAESAR ENGINEERING D.P.C. CONTACT: (518) 279-6156 contact@caesarengineering.com | | DATE: 30DEC24 DESIGNED BY: N. GOODEN, P.E. | | PROJECT SPONSOR NUMBER: 518-274-3050 PROJECT SPONSOR: TAP INC. | |
| PROJECT ADDRESS: 30 3RD ST, FIRST FLOOR, TROY, NY 12180 | | DRAWN BY: NG | | PROJECT SPONSOR ADDRESS: 210 RIVER STREET, TROY, NY 12180 | |
| PROJECT: ADLER PLACE | | PROJECT NAME: P241 | | PROJECT ADDRESS: 230 2ND STREET, TROY, NY 12180 | |

| DATE | REVISION DESCRIPTION | REV # |
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FOR PLANNING BOARD
NOT FOR CONSTRUCTION



EROSION CONTROL LEGEND

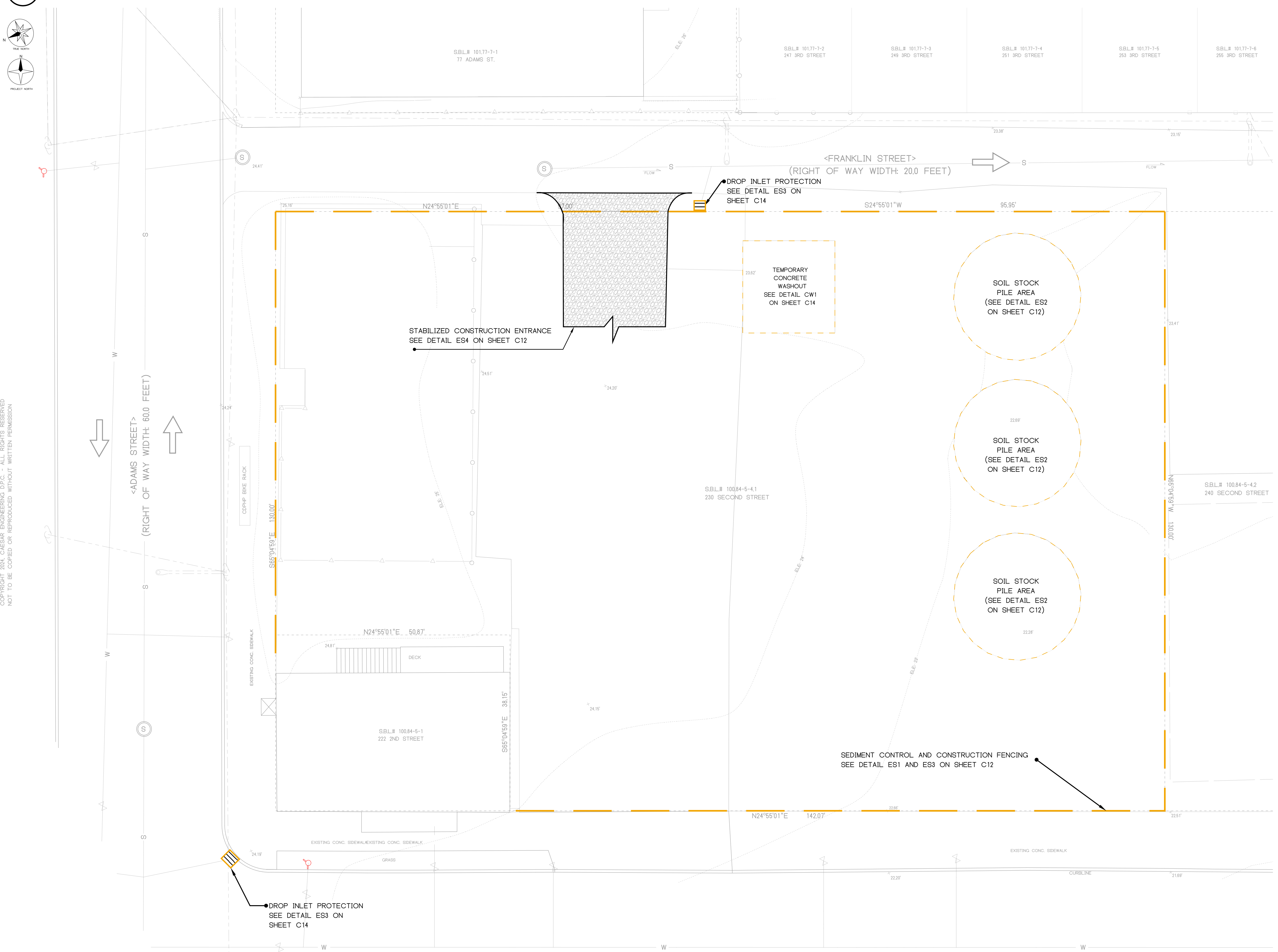
- PROPERTY BOUNDARY
- STABILIZED CONSTRUCTION ENTRANCE
- DROP INLET PROTECTION
- SOIL STOCK PILE AREA
- SILT AND CONSTRUCTION FENCE

EROSION & SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
2. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL INSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES, ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
3. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
5. THE ERS CONTROL PLAN MAPPING MUST DISPLAY A NY ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. (THIS IS A NUMBERED SYMBOL NOT A NOTE.)
6. EROSION AND SEDIMENT BMPs (BEST MANAGEMENT PRACTICES) MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
7. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
8. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
9. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
10. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

BMPs - AFTER DISTURBANCE

1. WITHIN FOURTEEN (14) DAYS OF ACHIEVING FINAL SITE STABILIZATION, TEMPORARY EROSION AND SEDIMENT BMPs CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.



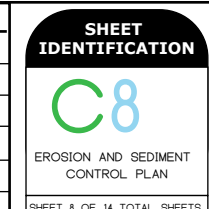
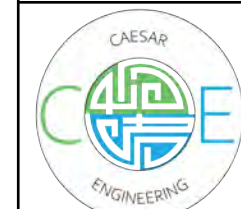
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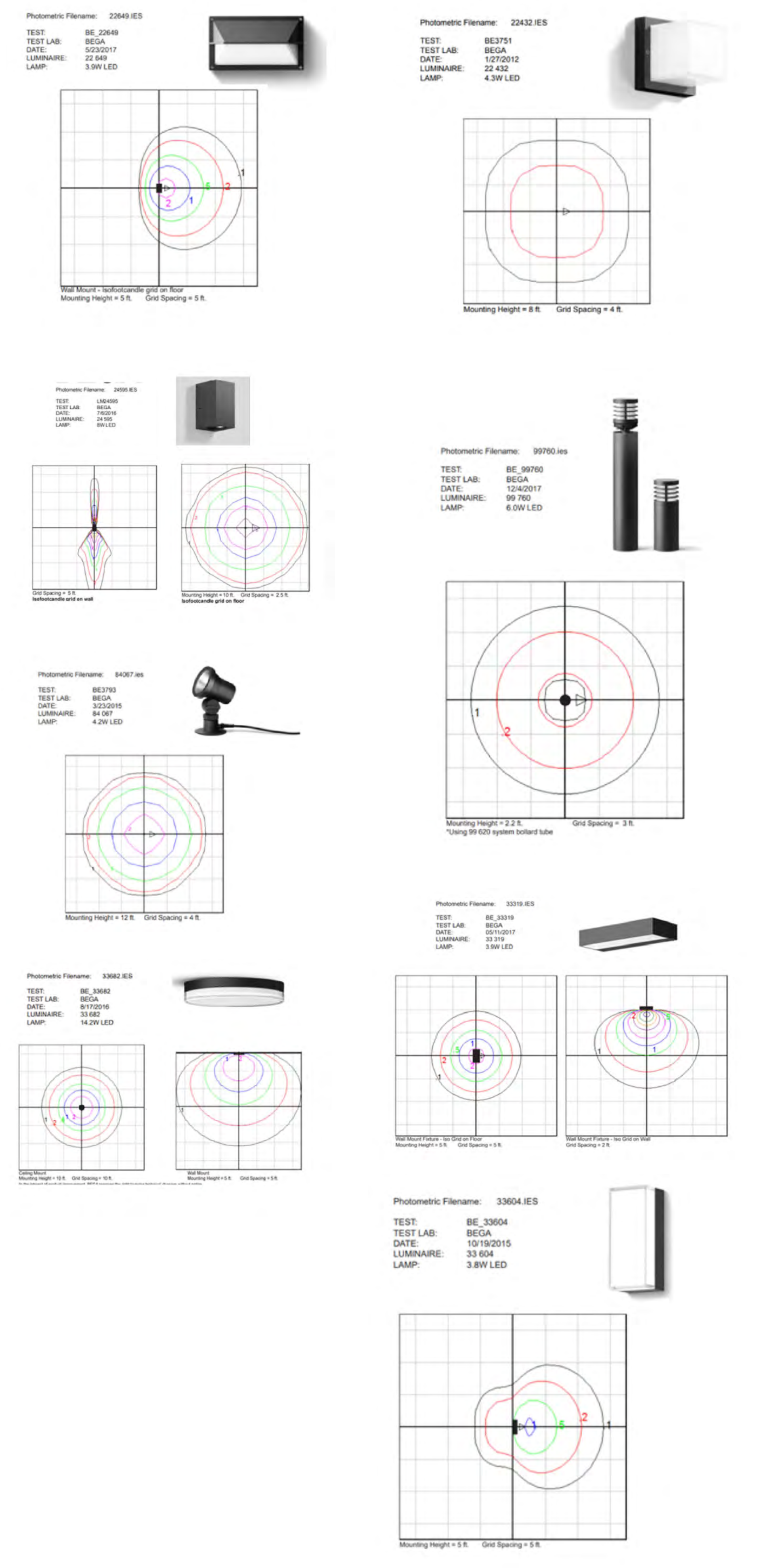
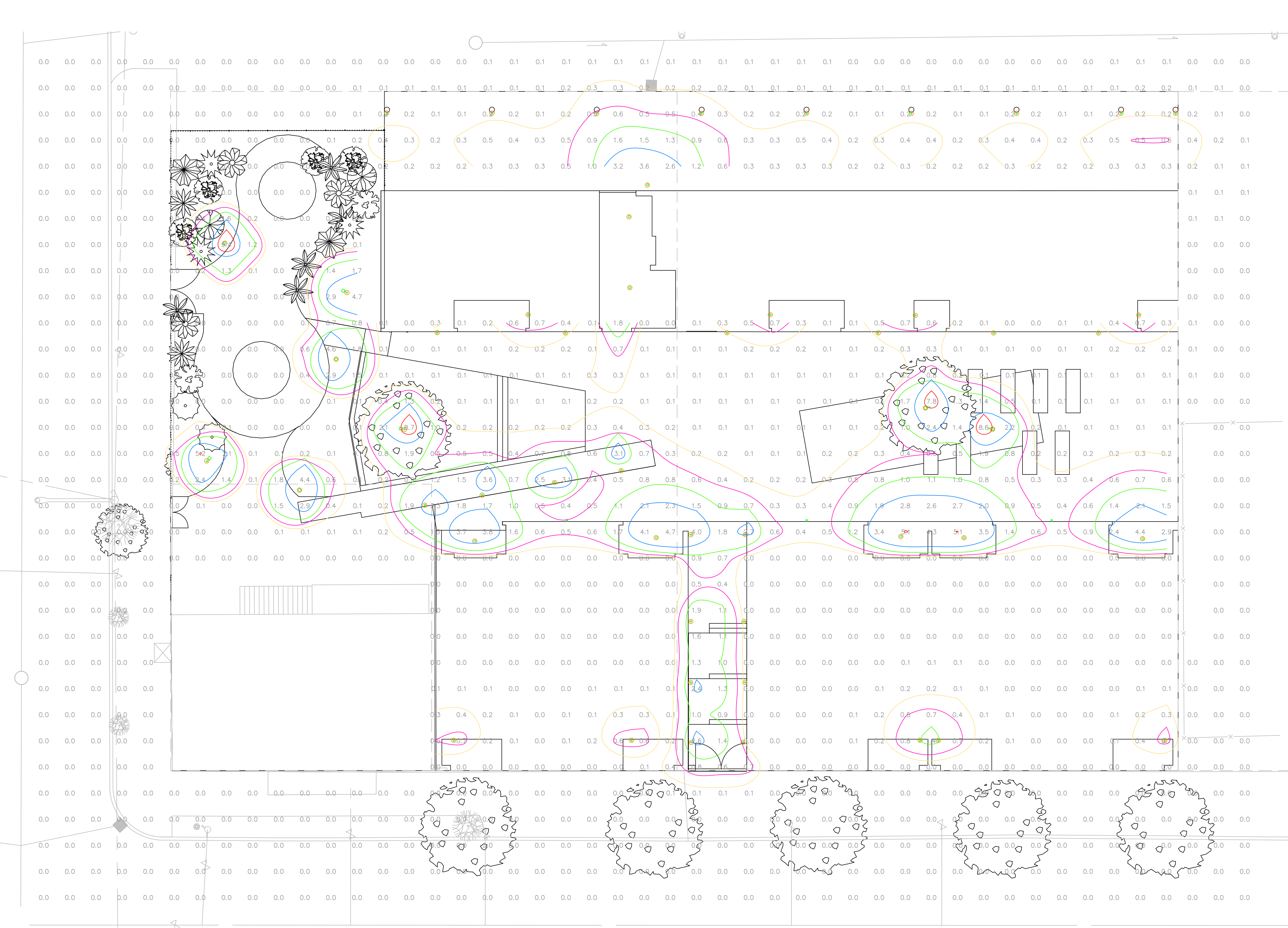
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| PROJECT: ADLER PLACE | PROJECT NAME: P241 | PROJECT ADDRESS: 230 2ND STREET TROY, NY 12180 | |

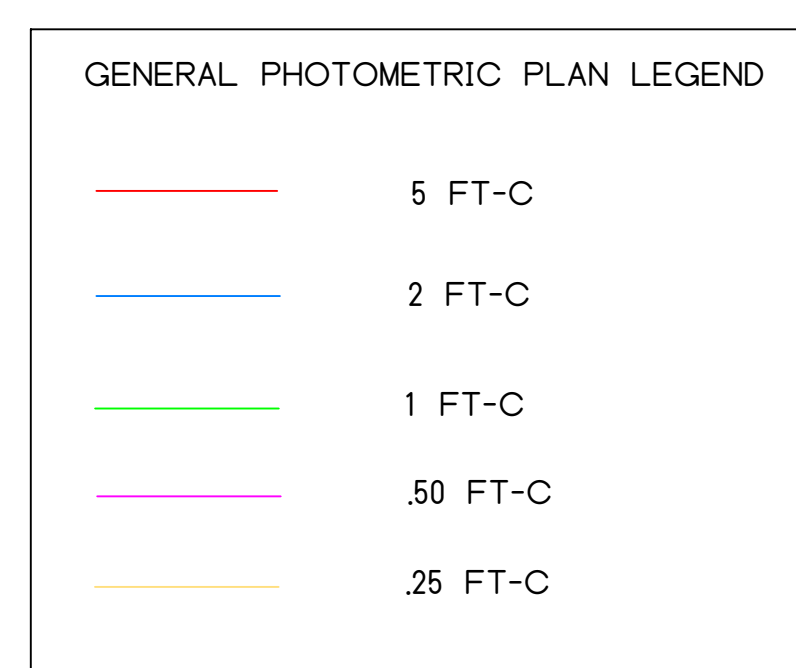
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| CALLOUT | SYMBOL | LAMP | DESCRIPTION | BALLAST | MOUNTING | MODEL | VOLTS | NOTE 1 | NOTE 2 | NOTE 3 | QUANTITY |
|-------------|--------|---------------------|---|------------|----------|---|------------|--|---|-------------------------|----------|
| 3319 | (1) | LED 3.9W LED 3.9W | 33 319 K3 | ELECTRONIC | WALL | BEGACovered by LUMCAL V 11.05.2017 / H.R. | 120V 1P 2W | INPUT: 100-300VAC, 50/60HZ, OUTPUT: 0-10 VDC, BAS: BPRWLD 6-RU-070 | | ED 3.9W 164 lm, 6' W | 8 |
| BOC - 99760 | (1) | LED 4.2W LED 4.2W | 77955 | ELECTRONIC | WALL | BEGACovered by LUMCAL V 23.03.2015 / H.R. | 120V 1P 2W | INPUT: 100-300VAC, 50/60HZ, OUTPUT: 0-10 VDC, BAS: BPRWLD 6-RU-070 | | ED 4.2W 331 lm, 6' W | 3 |
| CP - 33682 | (1) | LED 14.2W LED 14.2W | 33682 | ELECTRONIC | CEILING | BEGACovered by LUMCAL V 17.08.2016 / M.S. | 120V 1P 2W | INPUT: 100-300VAC, 50/60HZ, OUTPUT: 0-10 VDC, BAS: BPRWLD 6-RU-070 | | ED 14.2W 1255 lm, 17' W | 8 |
| PH - 33604 | (1) | LED 3.9W LED 3.9W | 33 604 K3 | ELECTRONIC | WALL | BEGACovered by LUMCAL V 19.10.2015 / H.R. | 120V 1P 2W | INPUT: 100-300VAC, 50/60HZ, OUTPUT: 0-10 VDC, BAS: BPRWLD 6-RU-070 | | ED 3.9W 300 lm, 6' W | 9 |
| S - 24595 | (1) | LED BK LED BW 24595 | 24595 | ELECTRONIC | WALL | BEGACovered by LUMCAL V 06.07.2016 / H.R. | 120V 1P 2W | INPUT: 100-300VAC, 50/60HZ, OUTPUT: 0-10 VDC, BAS: BPRWLD 6-RU-070 | | ED 8W 435 lm, 11' W | 9 |
| M - 22449 | (1) | LED 3.9W LED 3.9W | 22 649 K3 | ELECTRONIC | WALL | BEGACovered by LUMCAL V 23.05.2017 / H.R. | 120V 1P 2W | INPUT: 100-300VAC, 50/60HZ, OUTPUT: 0-10 VDC, BAS: BPRWLD 6-RU-070 | | ED 3.9W 244 lm, 6' W | 4 |
| MP-22432 | (1) | N/A | 4-3/4" X 4-3/4" X 5-5/8" SURFACE OR WALL LUMINAIRE LED MODULE WITH FOUR 3000K LED, HEAVY PRESSED OPTICAL GLASS WITH OPTICAL TEXTURE AND TRANSLUCENT WHITE STAINLESS COATING | ELECTRONIC | WALL | BEGA-US, 22432 | 120V 1P 2W | INPUT: 100-300VAC, 50/60HZ, OUTPUT: 0-10 VDC, BAS: BPRWLD 6-RU-070 | IGHT LABORATORY, INC. 10/2/2012 C10 INDICATING THE CANDELA VALUES ARE ABSOLUTE AND SHOULD NOT BE FACTORED FOR DIFFERENT LAMP FILTERS 120VAC, 8.83W IESNA LM-79-08 | | 9 |

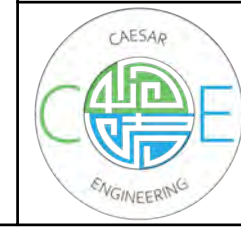


GENERAL NOTES:

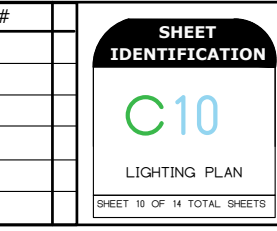
- THE FOLLOWING PHOTOMETRIC DIAGRAM SHOWS THAT THE GENERAL LIGHTING PLAN PROVIDED ACCOMPLISHES THE MUNICIPAL REQUIREMENT THAT NO LIGHTING USE SHALL PRODUCE GLARE SO AS TO CAUSE ILLUMINATION BEYOND THE PROPERTY BOUNDARY AND TO ADJACENT RESIDENTIAL AND NON RESIDENTIAL PROPERTY USES IN EXCESS OF .1 AND .3 FOOT CANDLES RESPECTIVELY
- ALL EXTERIOR LIGHTING PROVIDED IS DIRECTED AWAY FROM ADJOINING STREETS AND PROPERTIES.
- ALL OF THE PROPOSED LIGHTING WILL USE A COMBINATION OF TIMER AND SENSOR TO TURN OFF DURING DAYLIGHT HOURS AND BE ACTIVATED BY MOTION SENSORS AS APPLICABLE TO THE USE.

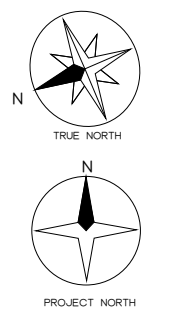
SCALE: 1" = 10'

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| PROJECT: ADLER PLACE | PROJECT NUMBER: P241 | PROJECT ADDRESS: 230 2ND STREET TROY, NY 12180 | |



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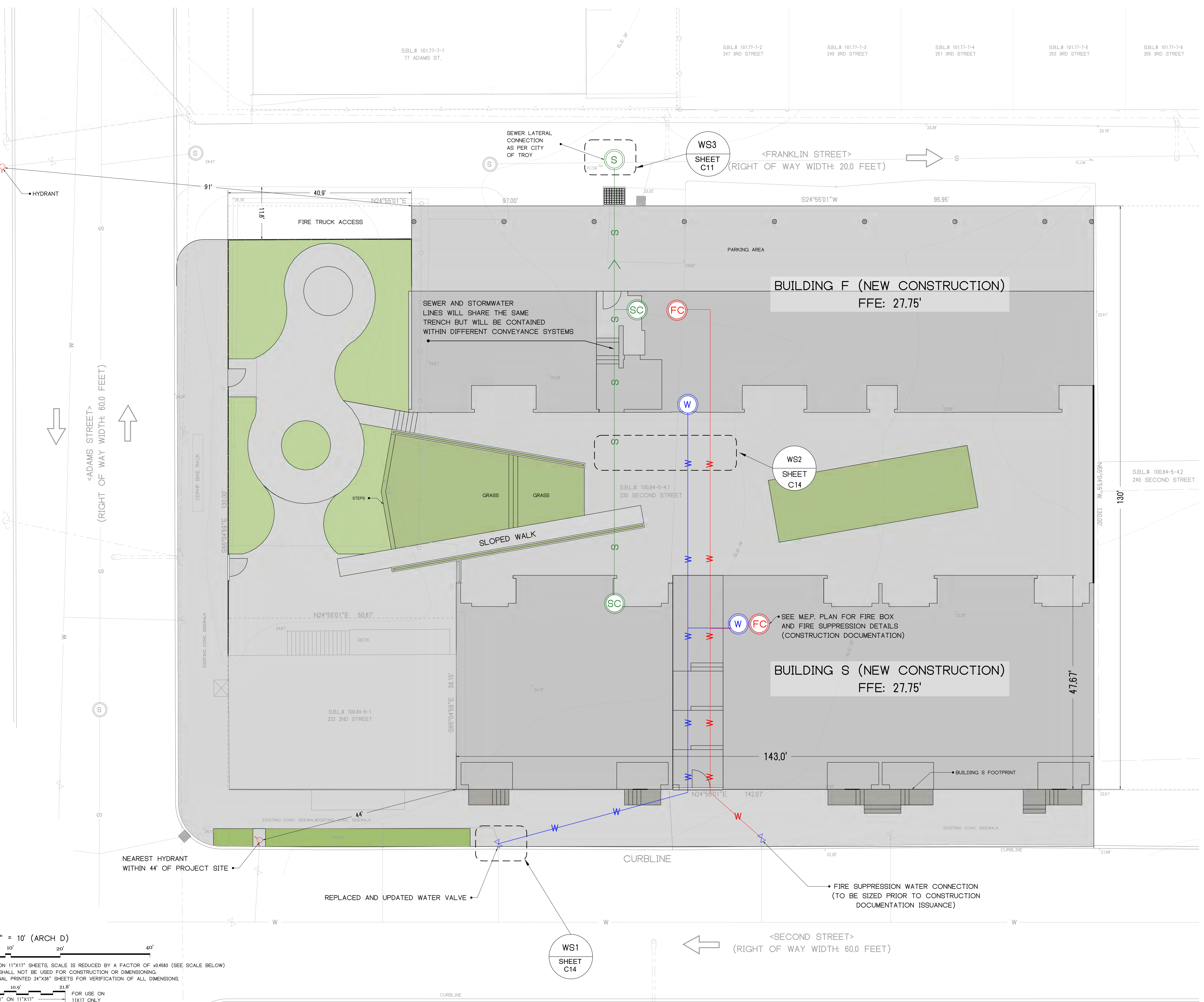


SITE PLAN LEGEND

- UTILITY POLE
- PROPERTY BOUNDARY
- BUILDING
- CONCRETE SURFACE
- EXISTING SEWAGE MANHOLE / ACCESS
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING SEWER LINE
- EXISTING WATER LINE
- PROPOSED MUNICIPAL SEWER CONNECTION
- PROPOSED BUILDING SEWER CONNECTION
- ELECTRICAL CONDUIT CONNECTION
- WATER CONNECTION
- FIRE CONNECTION (WATER)
- WATER VALVE
- FIRE HYDRANT
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- CURB
- SPOT GRADE

UTILITY NOTES:

1. PERMITS AND COMPLIANCE: THE CONTRACTOR MUST ADHERE TO ALL REQUIRED PERMITS AND ASSOCIATED CONDITIONS.
2. UTILITY LOCATION VERIFICATION: UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE POSITIONS FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THEIR EXACT LOCATIONS ON-SITE BEFORE CONSTRUCTION BEGINS.
3. FIELD CONDITION REPORTING: ANY FIELD CONDITIONS DIFFERING FROM THOSE SHOWN IN THE PLANS MUST BE REPORTED TO THE DESIGN ENGINEER BEFORE CONTINUING WITH CONSTRUCTION.
4. EXPLORATORY EXCAVATIONS: THE CONTRACTOR MUST CONDUCT EXPLORATORY EXCAVATIONS AT ALL UTILITY CONNECTION POINTS AND WHEREVER NECESSARY TO CONFIRM EXISTING CONDITIONS PRIOR TO STARTING WORK.
5. ROCK REMOVAL AND BLASTING: IF ROCK REMOVAL THROUGH BLASTING IS NECESSARY, THE CONTRACTOR MUST OBTAIN ALL REQUIRED APPROVALS AND PERMITS FROM THE RELEVANT AUTHORITIES BEFORE PROCEEDING.
6. UTILITY SERVICE VERIFICATION: THE CONTRACTOR MUST CONFIRM THE STATUS OF ALL UTILITY SERVICES BEFORE ANY INTERRUPTIONS OCCUR.
7. DEWATERING AND SURFACE DRAINAGE: THE CONTRACTOR IS RESPONSIBLE FOR DEWATERING UTILITY TRENCHES AND EXCAVATIONS AND MAINTAINING PROPER SURFACE DRAINAGE DURING CONSTRUCTION.
8. UTILITY TERMINATION: PROPOSED UTILITIES MUST TERMINATE 5 FEET FROM ANY PROPOSED BUILDING FACE. THE CONTRACTOR SHOULD COORDINATE UTILITY CONNECTIONS WITH THE BUILDING PLANS.
9. MAINTAINING EXISTING UTILITIES: ALL EXISTING UTILITIES MUST REMAIN IN SERVICE THROUGHOUT THE DURATION OF THE PROJECT.
10. SEWER AND WATER MAIN SEPARATION: SEWER MAINS SHOULD BE PLACED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN WHENEVER POSSIBLE. MAINTAIN A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE TOP OF THE SEWER AND THE BOTTOM OF THE WATER MAIN AT UTILITY CROSSINGS. IF THE REQUIRED VERTICAL SEPARATION CANNOT BE ACHIEVED, THE SEWER PIPE MUST BE PRESSURE-RATED AND TESTED AT 150 PSI FOR 10 FEET ON EITHER SIDE OF THE WATER MAIN CROSSING.
11. WATER PIPE SPECIFICATIONS: WATER PIPES SHOULD BE CL52 DUCTILE IRON PIPE UNLESS OTHERWISE SPECIFIED.
12. STORM SEWER SPECIFICATIONS: STORM SEWER PIPES MUST HAVE A SMOOTH INTERIOR AND BE MADE OF HDPE UNLESS SPECIFIED OTHERWISE.
13. SANITARY SEWER SPECIFICATIONS: GRAVITY SANITARY SEWER PIPES SHOULD BE SDR 35 PVC UNLESS OTHERWISE NOTED.
14. ELECTRICAL CONNECTION NOTES: ELECTRICAL UTILITY CONNECTIONS WILL BE COORDINATED WITH THE MEP ENGINEER AND LOCAL UTILITY GRID. UNDERGROUND ELECTRICAL CORRIDORS THROUGH THE SITE WILL BE DESIGNED BY THE SITE CIVIL ENGINEER. THERE IS ELECTRICAL SERVICE ADJACENT TO THE SITE AS NOTED BY THE EXISTING OVERHEAD UTILITY LINES



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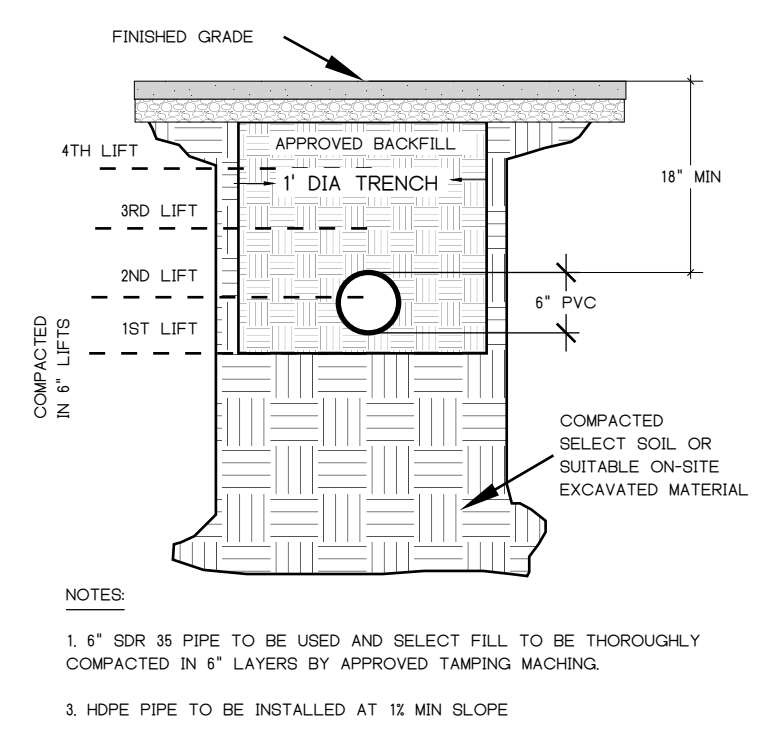
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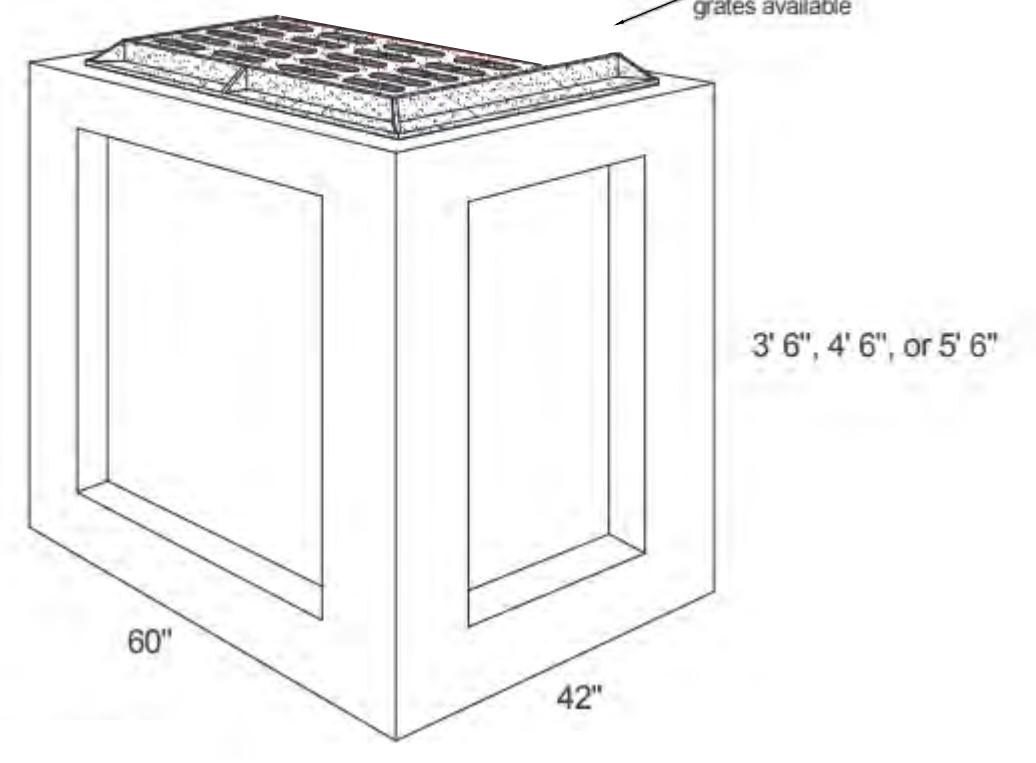
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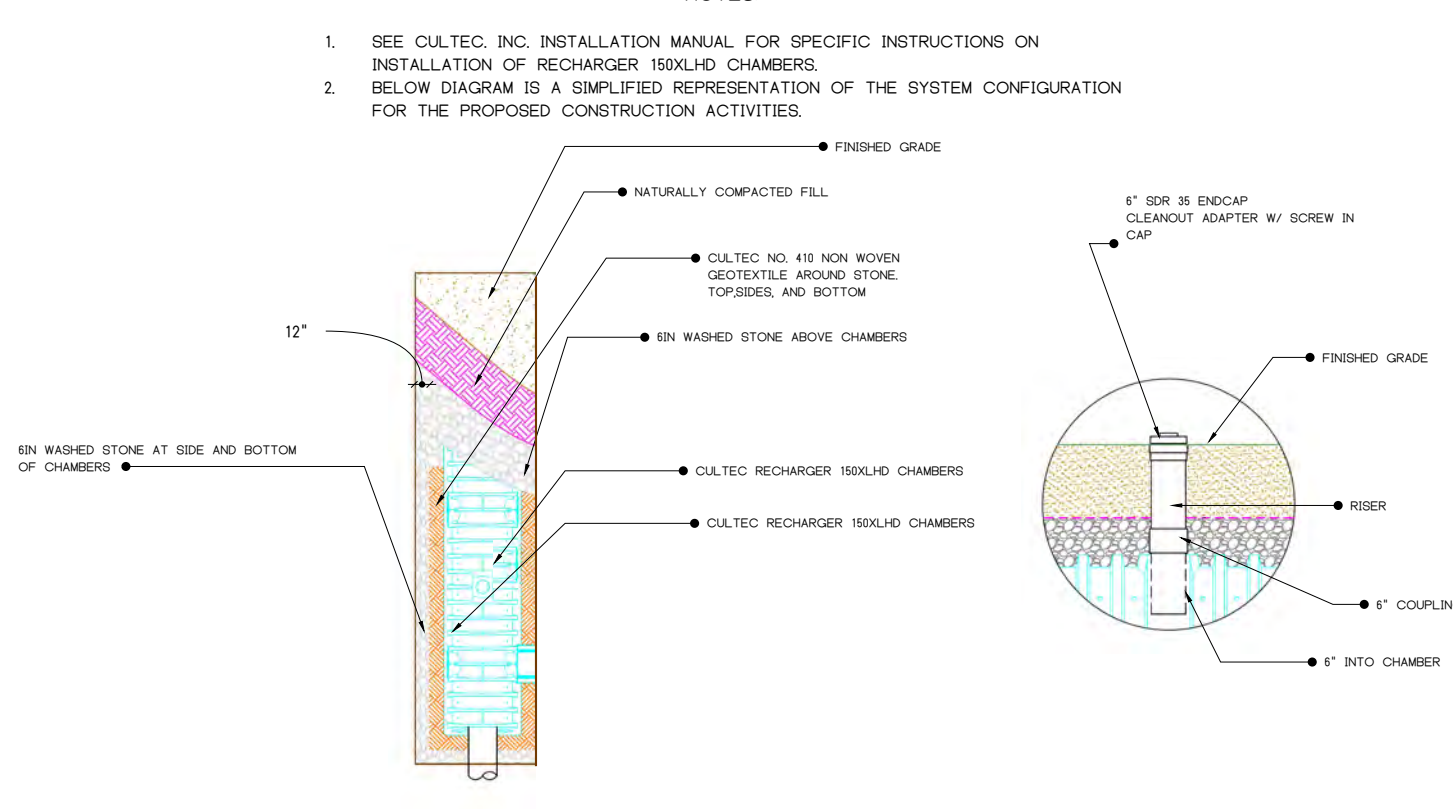
ST1 SHEET C11 BEDDING FOR UNDERGROUND RAIN LEADER



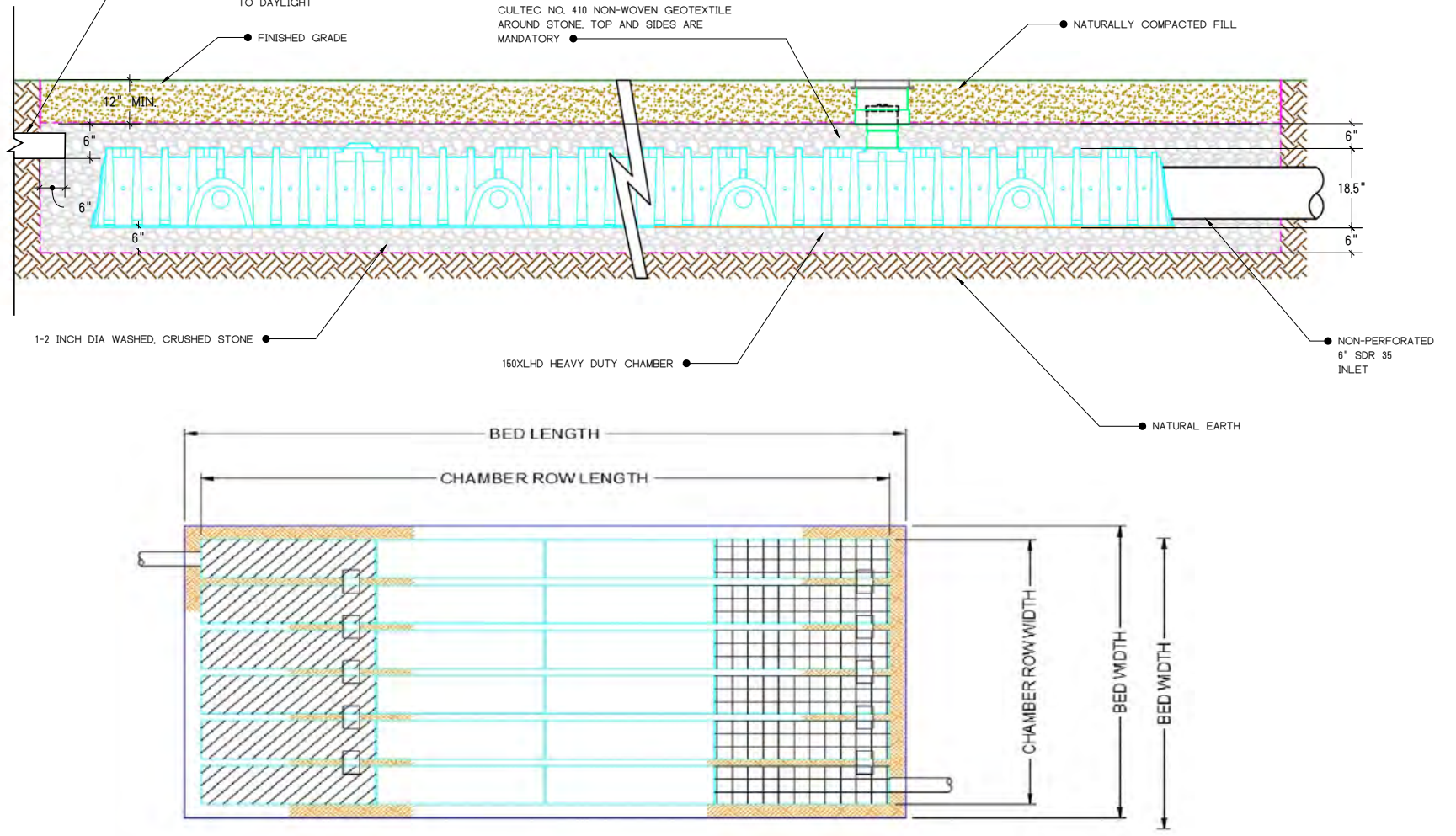
ST2 SHEET C11 TYPICAL PRE-CAST CATCH BASIN WOODARDS MODEL CB30X48



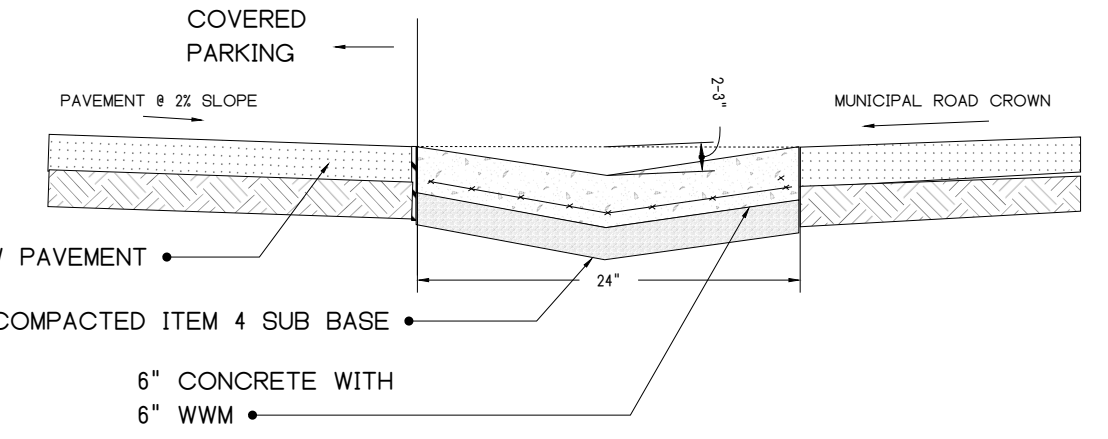
ST6 SHEET C11 TYPICAL CULTEC RECHARGER 150 XLHD DETAIL



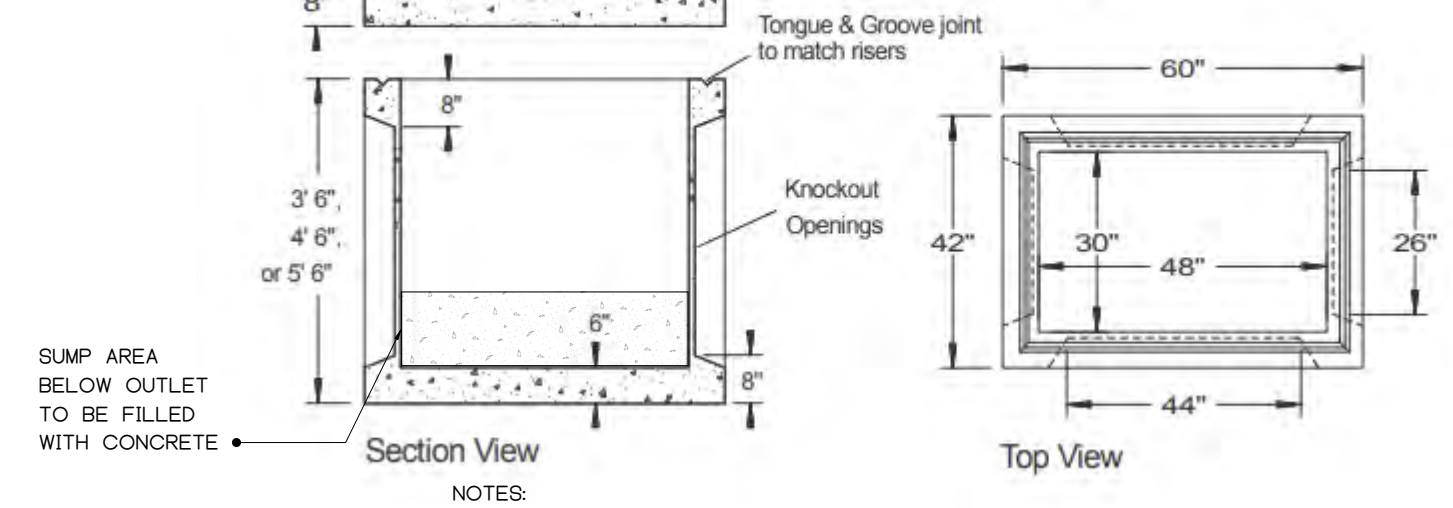
CROSS SECTION VIEW



ST4 SHEET C11 SHALLOW V CHANNEL CONCRETE SWALE SCALE: 1" = 1'



Optional 8" thick Flat Top Model CS-42x60x8 Matching Risers are available in 1', 2', & 3' heights.



1) ALL CATCH BASINS TO BE INSTALLED LEVEL ON A BASE OF 6" OF COMPACTED AGGREGATE OVER A COMPACTED SUBGRADE.

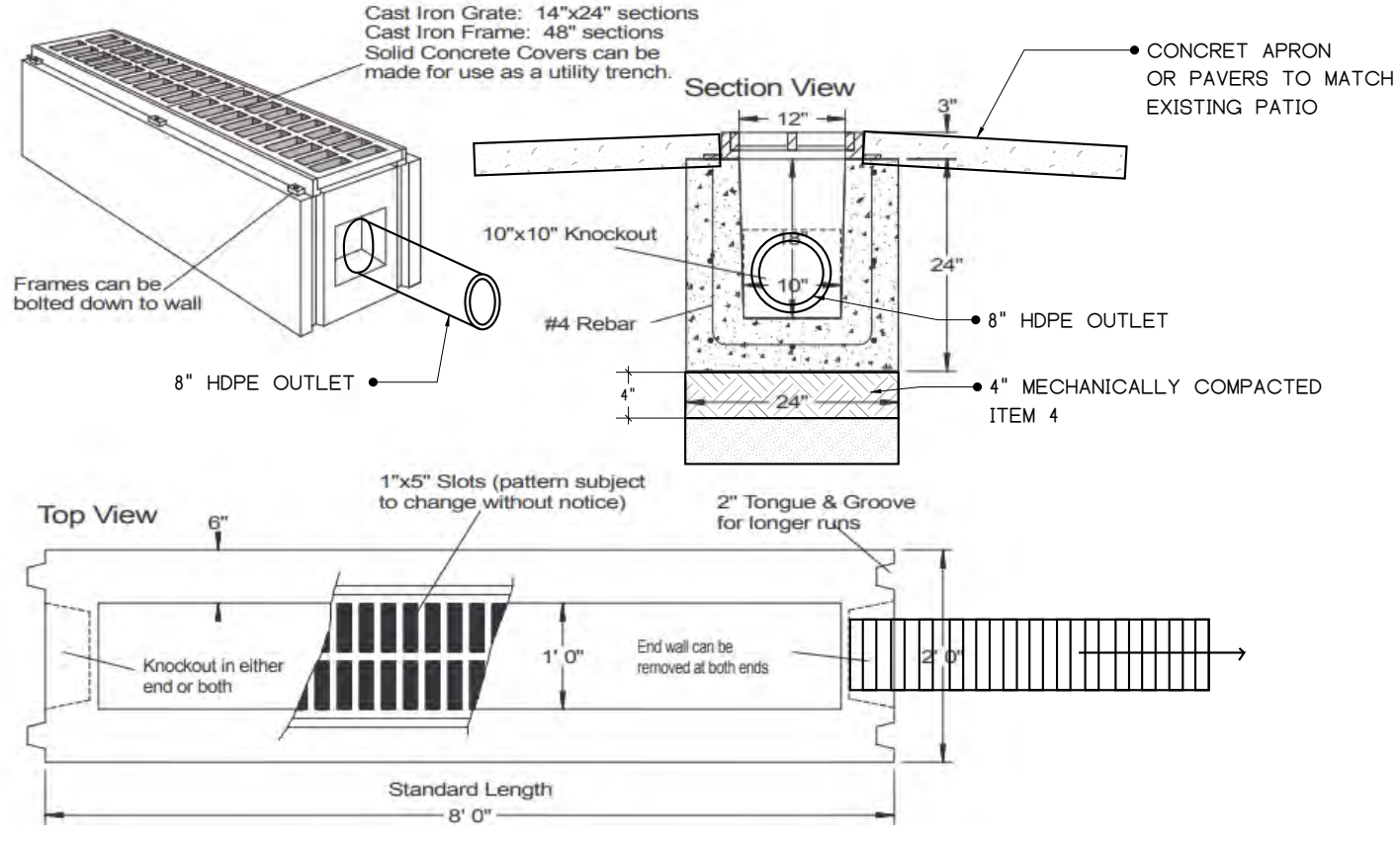
ESTIMATED INFILTRATION BED INFORMATION

| | | |
|-------------------------|--------|----------|
| Number of Rows Wide | 7 | pieces |
| Number of Chambers Long | 22.25 | pieces |
| Chamber Row Width | 21.25 | feet |
| Chamber Row Length | 21.25 | feet |
| Bed Width | 24.25 | feet |
| Bed Length | 23.25 | feet |
| Bed Area Required | 563.81 | sq. feet |
| Length of Separator Row | N/A | feet |

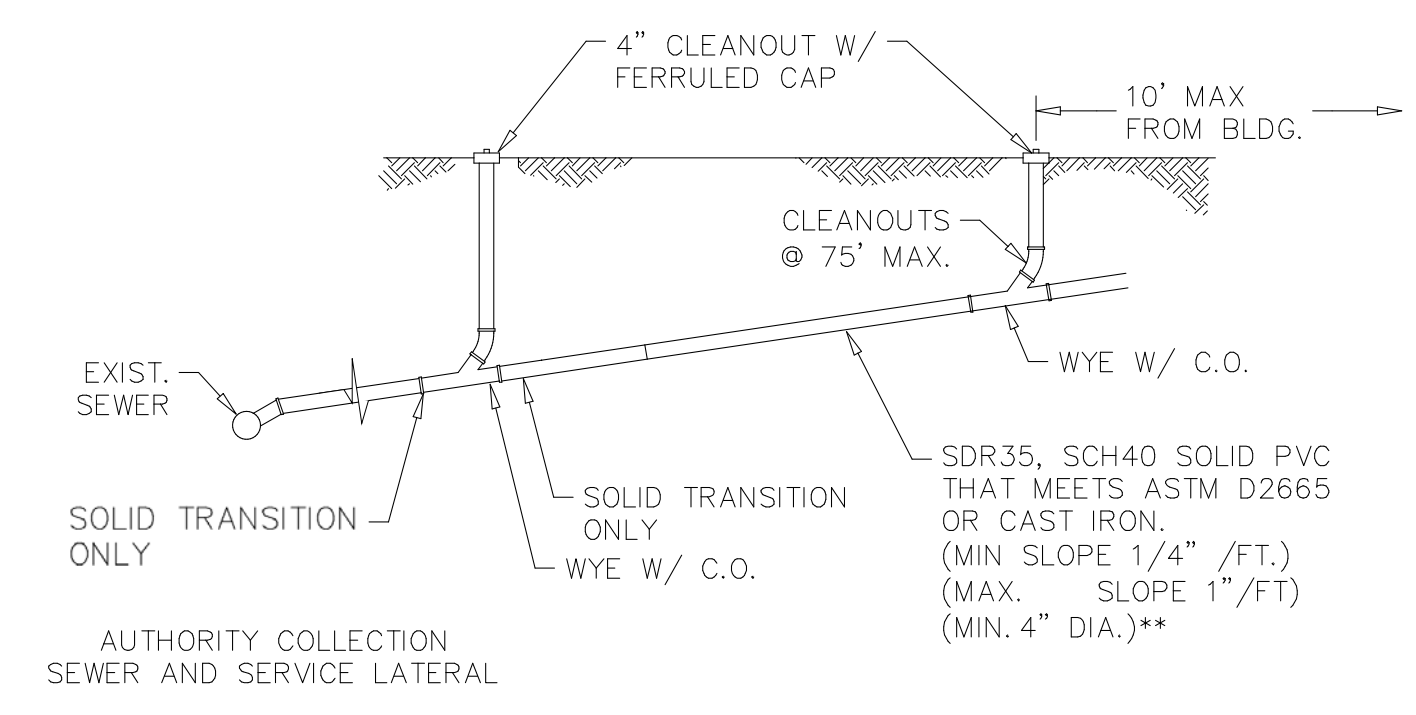
Recharger 150XLHD

| | | |
|--|-----------|---------------|
| Total Number of Chambers Required | 14 | pieces |
| Starter Chambers | 7 | pieces |
| Intermediate Chambers | 0 | pieces |
| End Chambers | 7 | pieces |
| HVLV FC-24 Feed Connectors | 6 | pieces |
| CULTEC No. 410 Non-Woven Geotextile | 174 | sq. yards |
| CULTEC No. 4800 Woven Geotextile | 47 | feet |
| Stone | 38 | cu. yards |

ST5 SHEET C11 TRENCH TYPE CATCH BASIN



WS3 SHEET C11 TYPICAL MUNICIPAL SEWER CONNECTION



NOTES:
 - ENGAGEMENT WITH THE MUNICIPAL WATER AND SEWER WILL VALIDATE THE PROPOSED SIZE OF SEWER AND WATER OUTLETS BASED ON OUTFLOW AND USAGE OF EXISTING VS. PROPOSED BUILDINGS.
 - THE CITY OF TROY WILL HAVE ULTIMATE AUTHORITY IN DETERMINING THE CONNECTION AS PER MUNICIPAL STANDARDS.

FC1 SHEET C11 TYPICAL FENCE DETAIL NOT TO SCALE



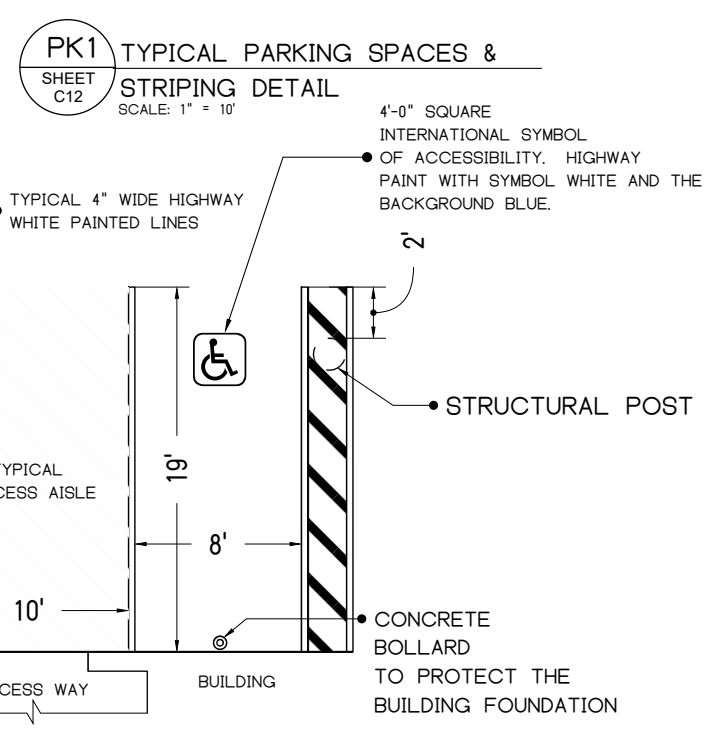
NOTES:
 1. 6" HIGHSTEEL FLAT TOP FENCES WILL BE INSTALLED AT SELECT PROPERTY BOUNDARIES AS SHOWN ON SHEET C7
 2. FENCE SYSTEM WILL EMPLOY 2" SQUARE POSTS, 15/16" X 1 1/4" X 14 GA. RAILS, AND 5/8" 18 GA. PICKETS.

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| CONTACT: (518) 279-6156 contact@caesarengineering.work | DESIGNED BY: N. GOODEN, P.E. | PROJECT SPONSOR: TAP INC. | |
| DESIGNER/OWNER ADDRESS: 30 3RD ST. FIRST FLOOR TROY, NY 12180 | DRAWN BY: NG | PROJECT SPONSOR ADDRESS: 210 RIVER STREET TROY, NY 12180 | FOR PLANNING BOARD NOT FOR CONSTRUCTION |
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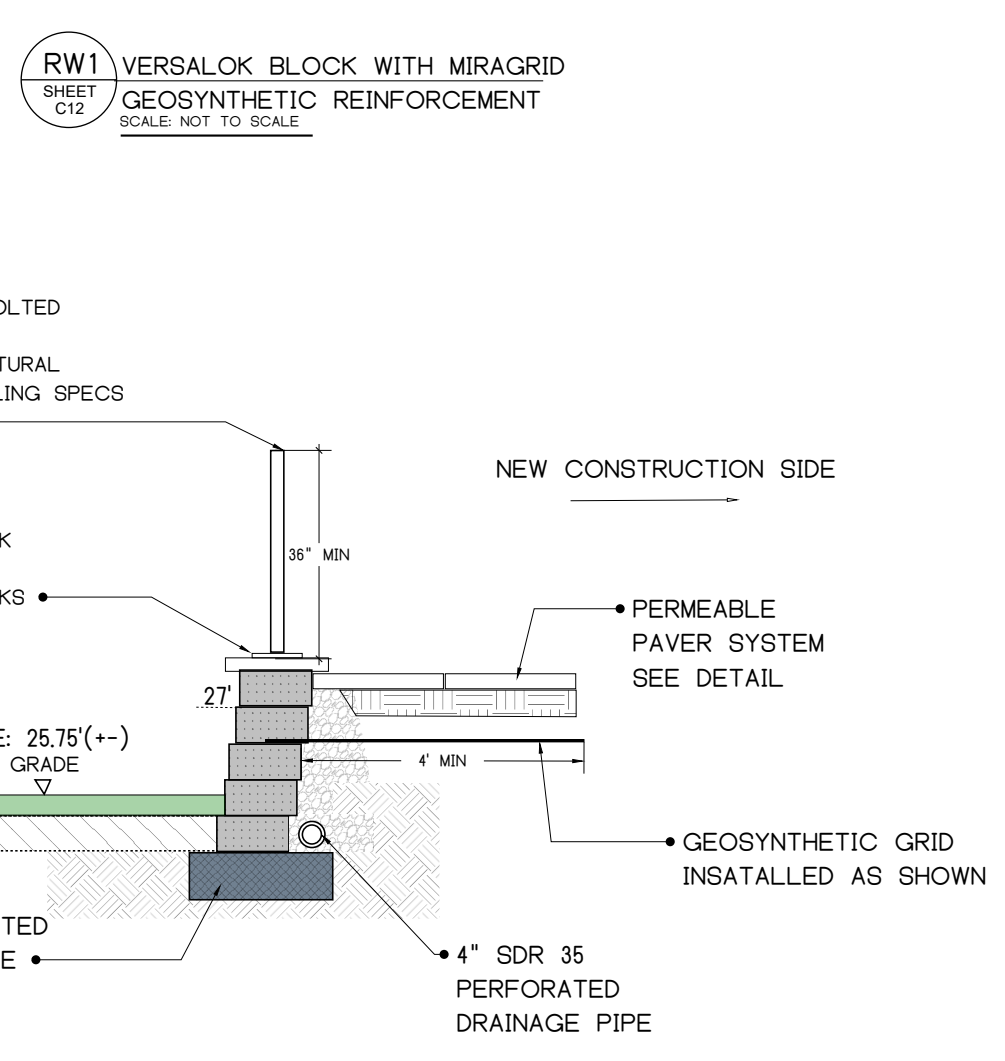
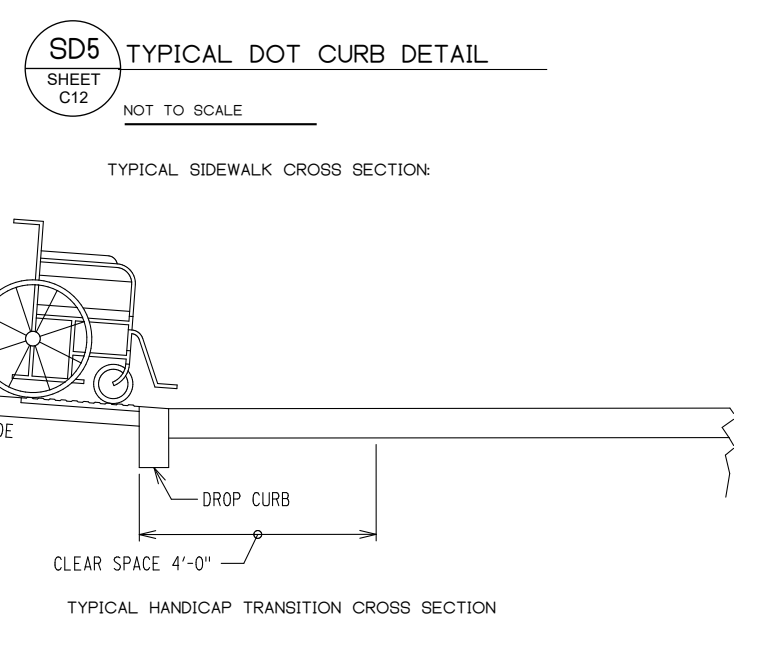
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| 811 Know what's below. Call before you dig. | CALTEC ENGINEERING | C11 CONSTRUCTION DETAILS SHEET 01 OF 10 TOTAL SHEETS |
|--|------------------------------|---|

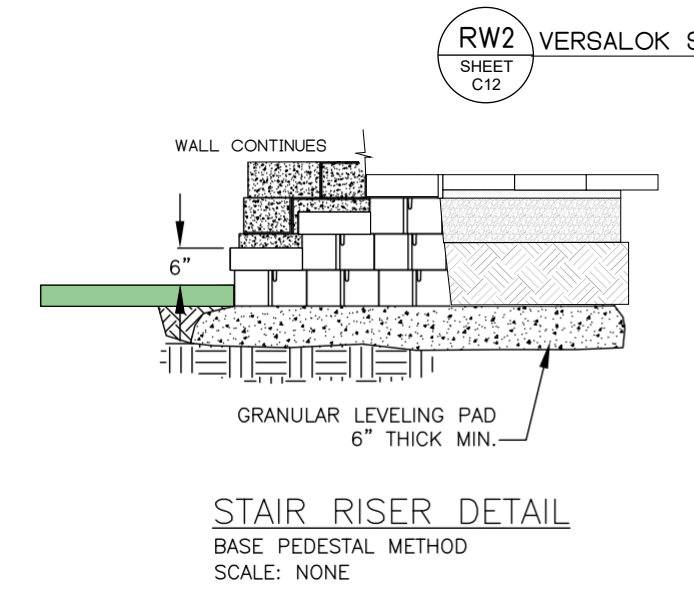
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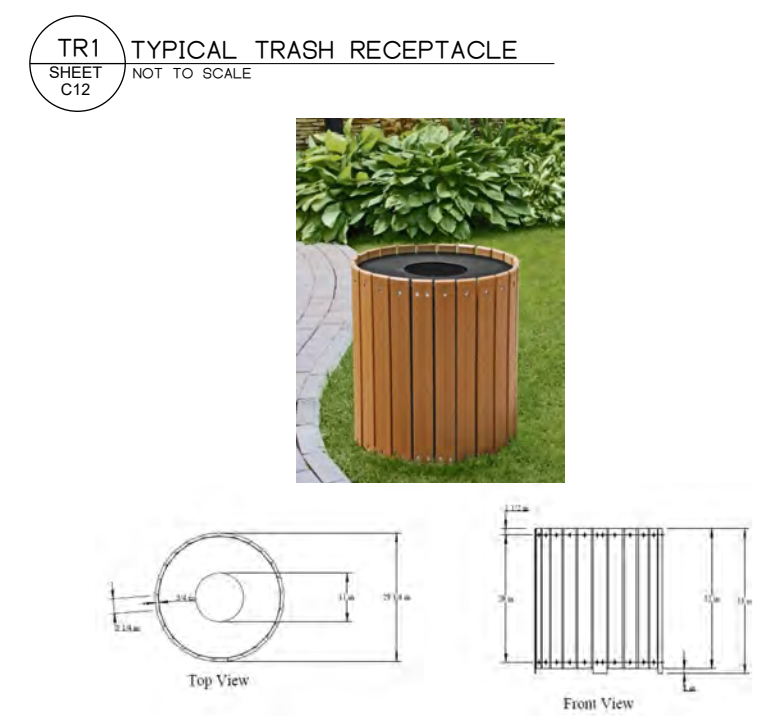
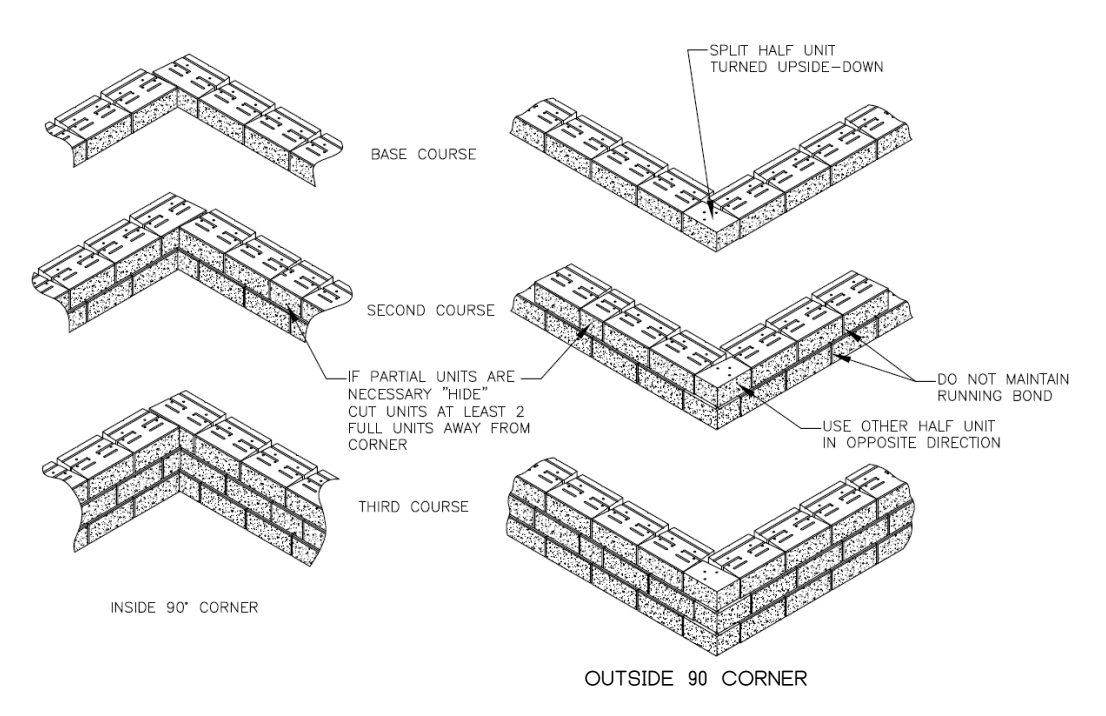
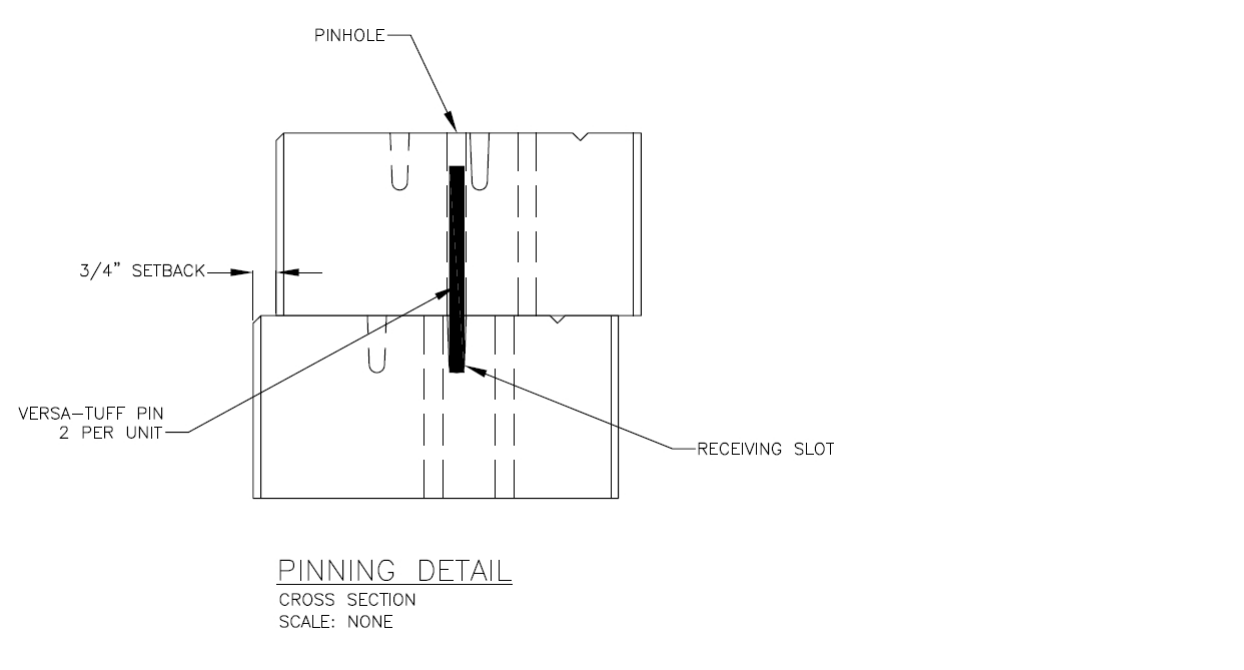
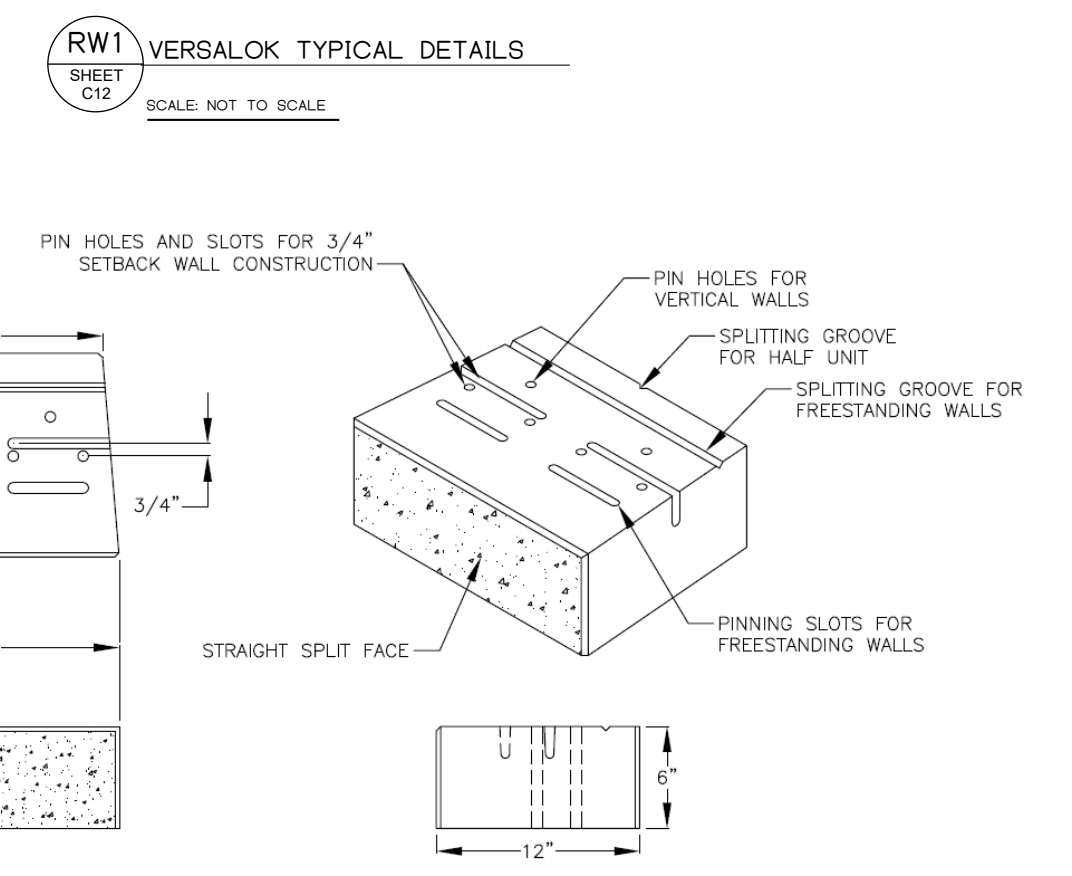
NOTES:
 - THIS DRAWING ABOVE SHOWS THE STANDARD CONFIGURATION FOR ISLES, A STANDARD CONSUMER PARKING SPOT, AND AN ACCESSIBLE. SEE SITE PLAN FOR SPACE LOCATION AND CONFIGURATION.
 - ALL ACCESSIBLE PARKING SPOTS WILL HAVE SIGNAGE AS SHOWN IN DETAIL PK3.



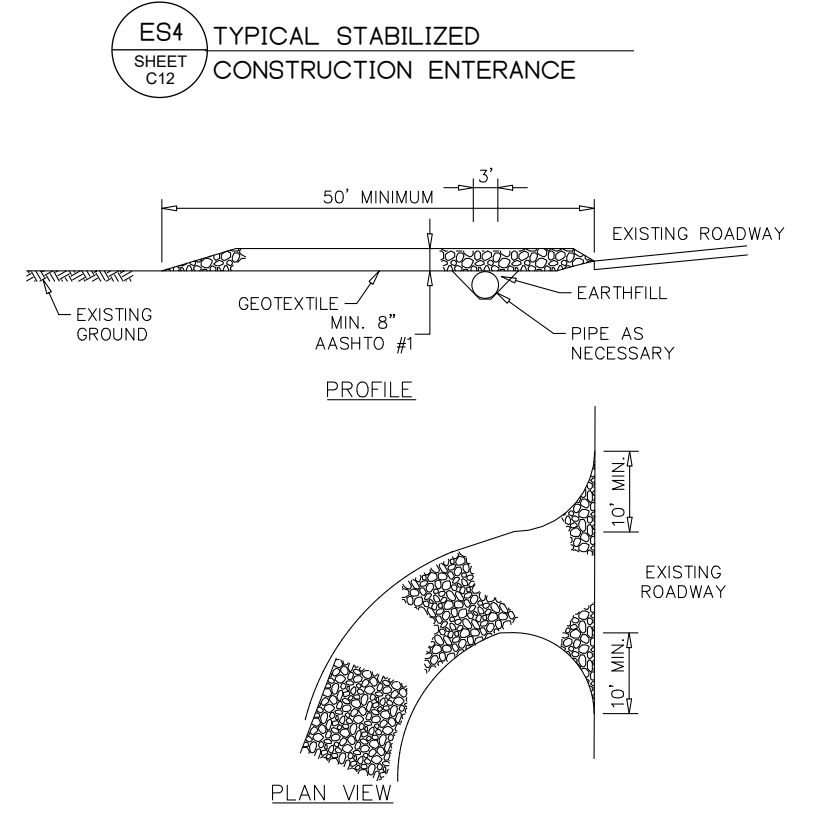
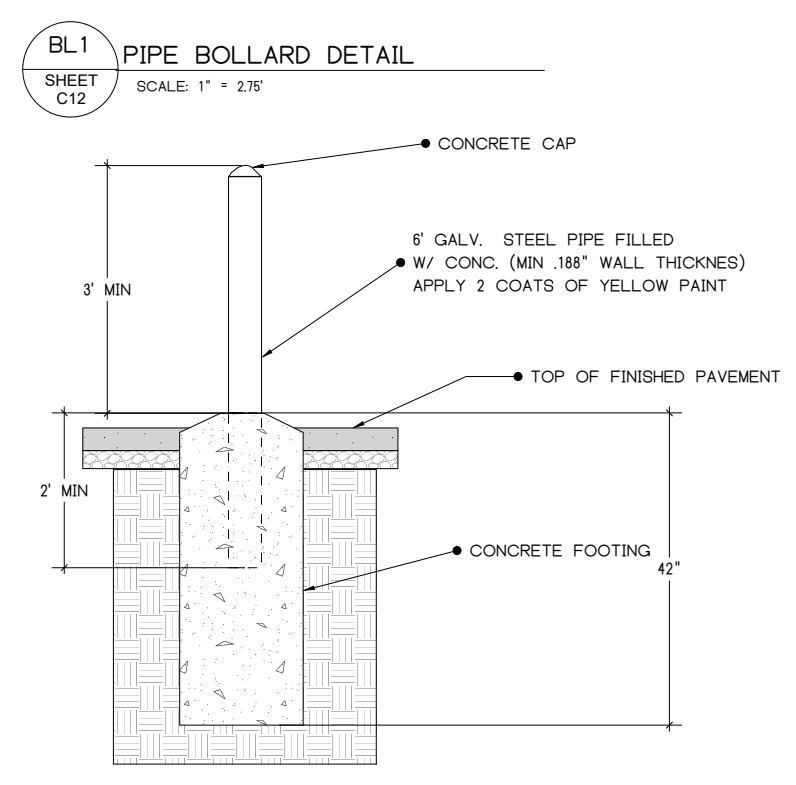
NOTES: USE OF RETAINING WALL BLOCKS SHOULD FOLLOW MANUFACTURERS' INSTRUCTIONS. THIS DESIGN WILL CONFORM TO SRM DESIGN MANUAL SPECIFICATIONS TO PREVENT OVERTURNING, SLIDING, EXCESSIVE FOUNDATION PRESSURE AND LASTLY WATER UPLIFT/ALLOWABLE DRAINAGE. THIS WALL HAS BEEN DESIGNED WITH A MINIMUM FACTOR OF SAFETY OF 1.5 IN EACH CASE.
 GRAVEL WILL BE COMPACTED AT A MINIMUM OF EACH ADDITIONAL BLOCK PLACED.
 THIS DESIGN IS EXCLUSIVELY LINKED TO THE USE OF THE RETAINING WALL - VERSALOK STANDARD UNIT BLOCKS. IF A DIFFERENT RETAINING WALL PRODUCT, SUCH AS NATURAL STONE, CONCRETE MASONRY UNIT BLOCKS (CMU) OR WOOD TIES ARE USED, THIS DESIGN WILL NOT BE APPLICABLE AND PROPER RE-DESIGN IS REQUIRED.



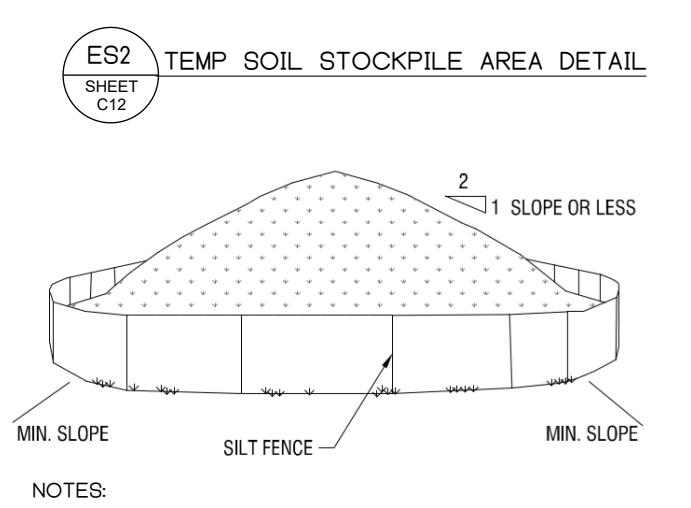
STAIR NOTES:
 • USE SAME LEVELING PAD MATERIAL FOR STAIR PEDESTAL AS RETAINING WALL.
 • CONSTRUCT STAIR RISERS FIRST, INSTALL CAPS FOR TREADS SECOND, AND THEN INSTALL SIDEWALLS LAST.
 • DO NOT PIN STAIR UNITS.
 • CONSTRUCT BASE PEDESTAL IN 4 TO 5 RISER INCREMENTS.
 • STACK SIDEWALLS VERTICALLY, WITHOUT PINNING.
 • SEE VERSA-LOK TECH BULLETIN 2 FOR ADDITIONAL STAIR CONSTRUCTION DETAILS.



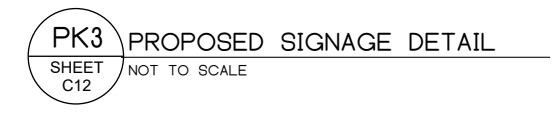
NOTES:
 1. TRASH RECEPTACLES WILL BE PLACED THROUGHOUT THE SITE POST CONSTRUCTION. TRASH RECEPTACLES WILL BE PLACED PRIMARILY IN PEDESTRIAN CORRIDORS AND WILL BE MAINTAINED BY THE DEVELOPMENT OWNER.



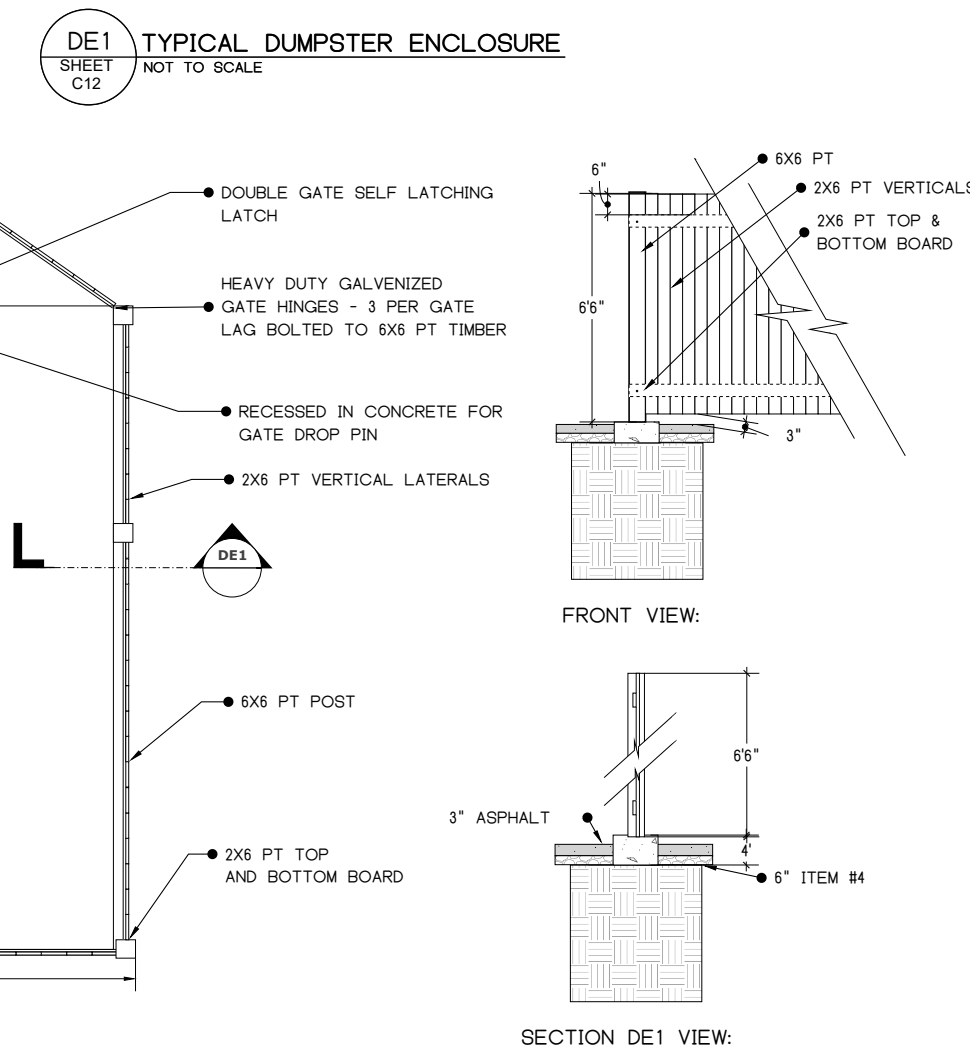
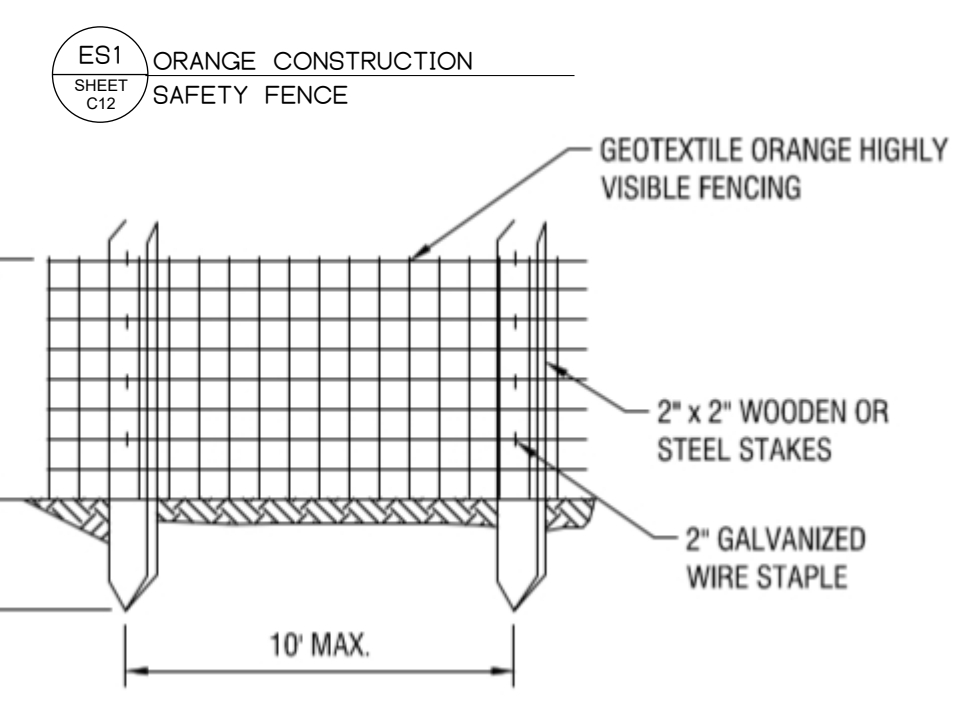
GENERAL NOTES:
 1. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 2. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 3. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 4. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



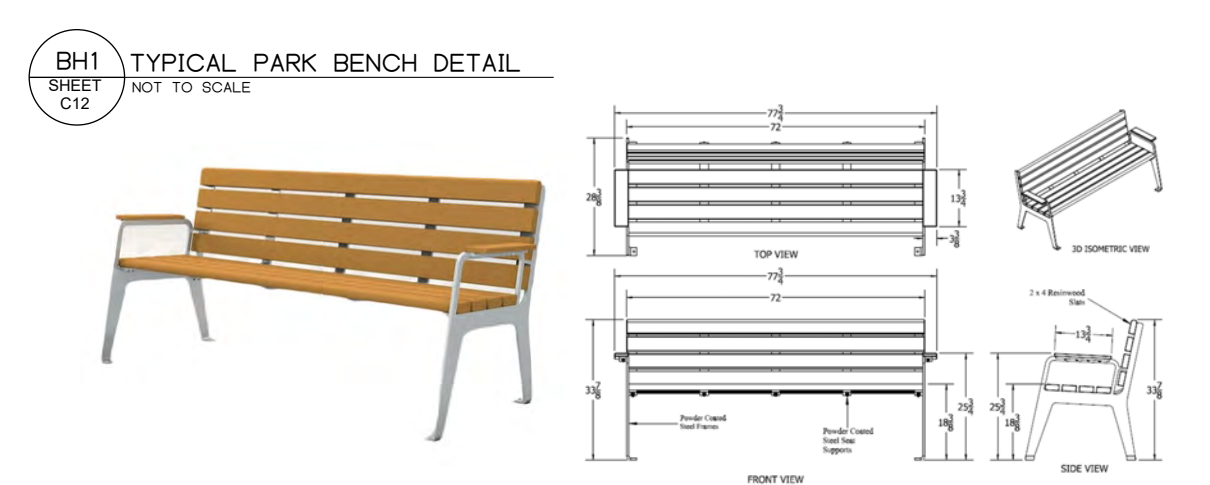
NOTES:
 - APPROXIMATE AREAS PROPOSED FOR THE TEMP. SOIL STOCKPILE AREAS ARE SHOWN ON THE PROPOSED AND EXISTING SITE PLAN SHEETS.
 - MAX SLOPE OF THE STOCKPILE SHALL BE 1V/2H
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.



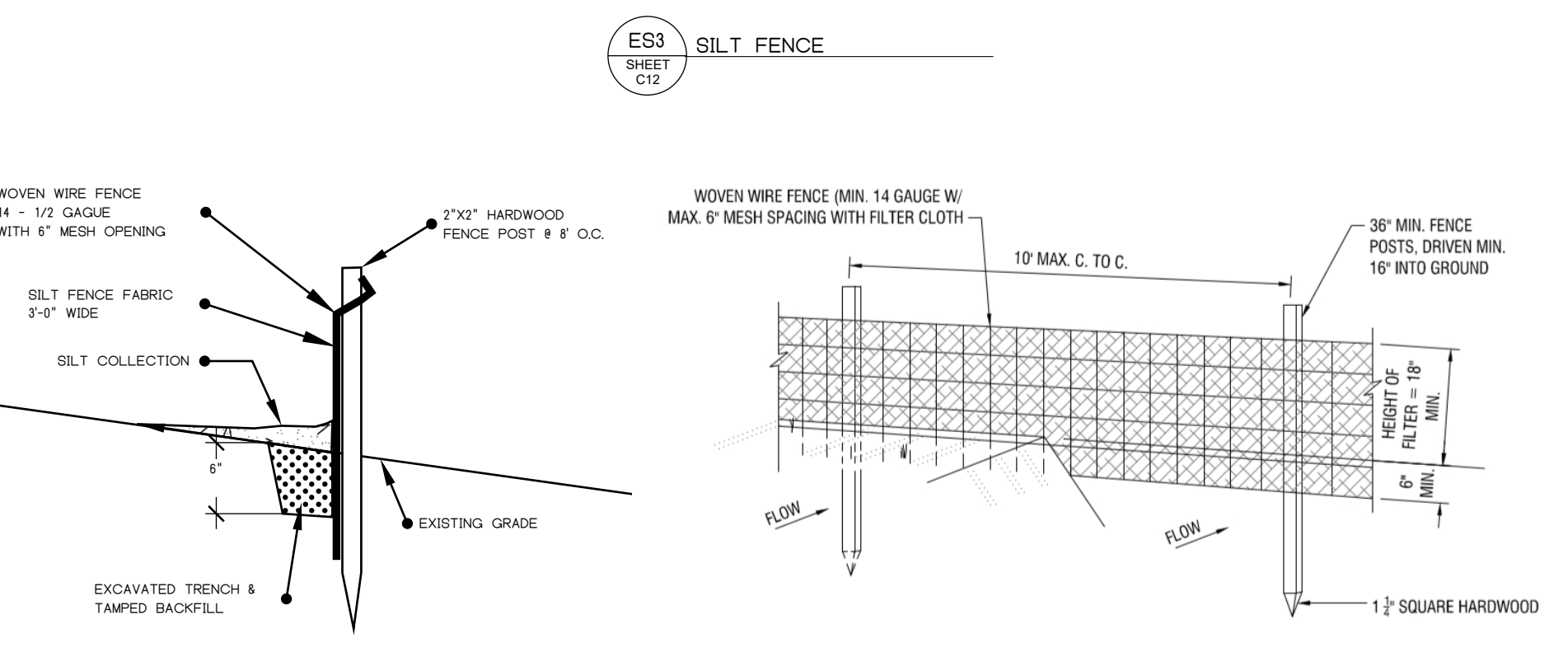
HANDICAP SIGN @ BOTH PROPOSED LOCATIONS:
 NOTE: RESERVED PARKING SIGNS SHALL BE INSTALLED PER THE SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SIGN TYPE USED SHALL BE R7-8 12"x18" AND R7-8B 12"x18" AS SHOWN. THE SIGN SHALL BE ABOVE GRADE WITH THE BOTTOM OF THE SIGN A MINIMUM OF 5'-0" ABOVE GRADE.
 WHEN ACCESSIBLE PARKING SIGN IS ADJACENT TO OR PERPENDICULAR TO SIDEWALK THE BOTTOM OF THE LOWEST SIGN SHOULD HAVE A MINIMUM MOUNTING HEIGHT OF 7'-0".
 USE VAN ACCESSIBLE PLAQUE WHERE SPACES ARE ADJACENT TO AN EIGHT FOOT ACCESS AISLE.



NOTES:
 - ALL LUMBER SHALL BE PRESSURE TREATED
 - FENCING SHALL BE PT OR VINYL EQUALWEIGHT
 - ALL FASTENERS AND FIXTURES SHALL BE OF GALVANIZED STEEL.
 - THE PLAN ABOVE REPRESENTS A TYPICAL DUMPSTER ENCLOSURE. THE PROJECT SPONSOR SHALL HAVE THE OPTION TO INSTALL A FEATURE MEETING SIMILAR REQUIREMENTS AND IS EQUAL IN PERFORMANCE, BUT CAN BE OF AN ALTERNATE DESIGN OR MATERIALS.



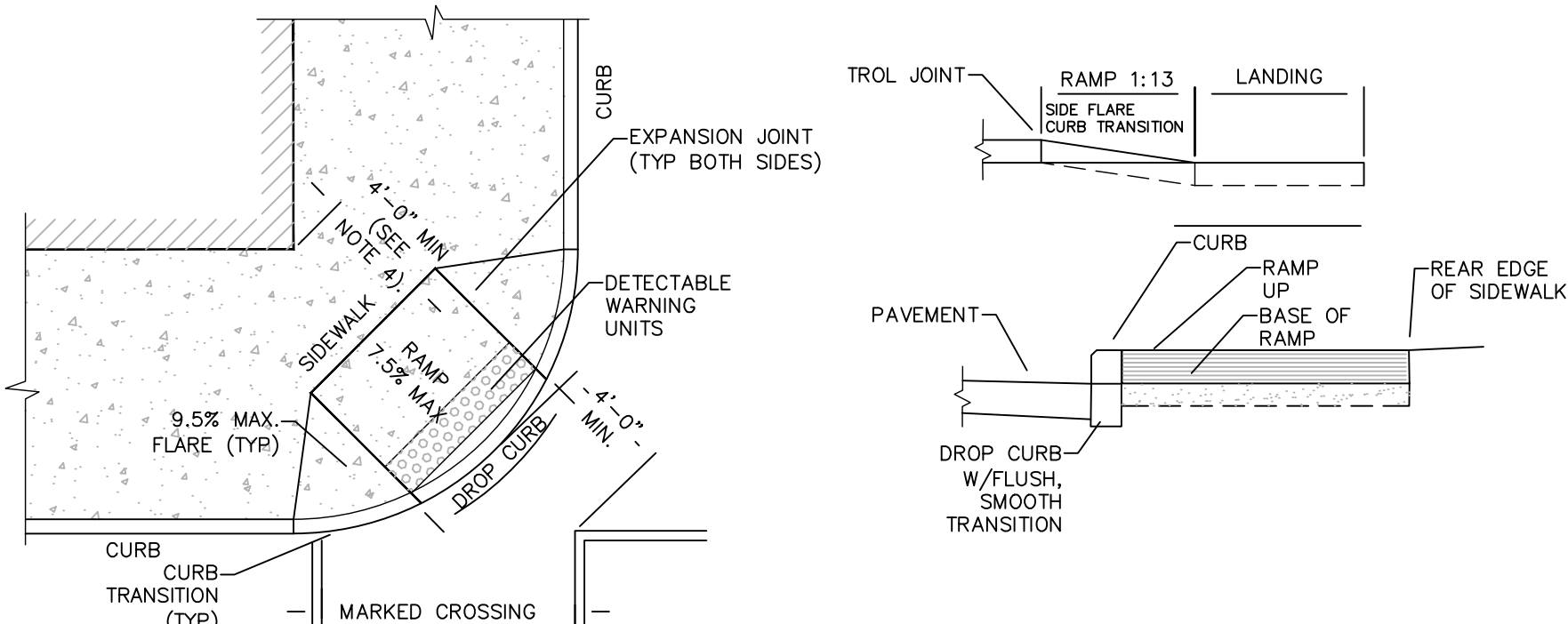
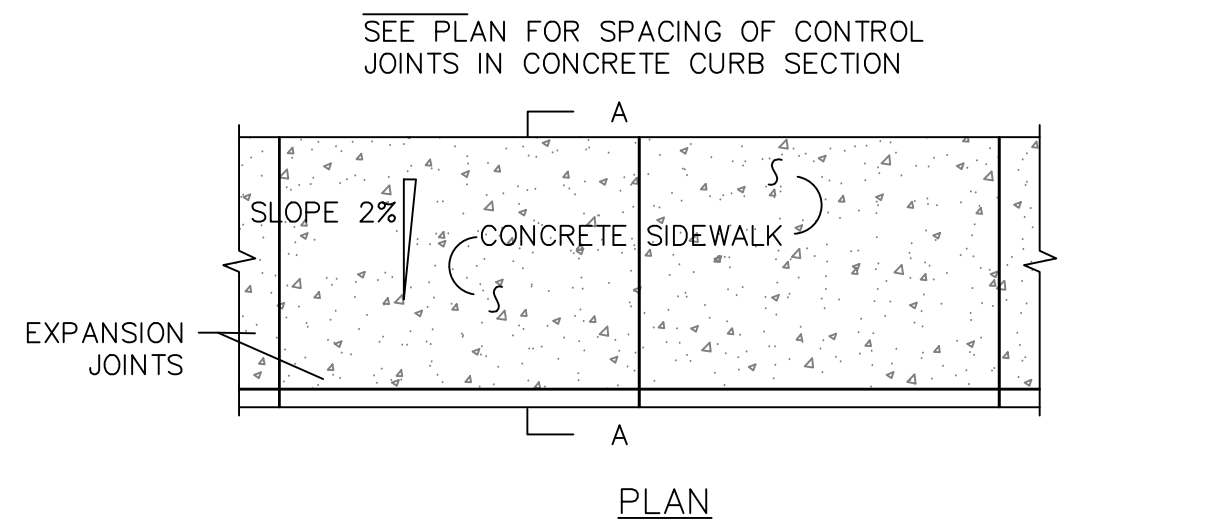
NOTES:
 1. ALL PARK BENCHES WILL BE INSTALLED THROUGHOUT THE DEVELOPMENT. PLACEMENT WILL BE DECIDED AT PROJECT COMPLETION.
 2. THE PLAZA BENCH IS MADE WITH FOUR 2" X 4" RESINWOOD SLATS AND AN EXTREMELY DURABLE STEEL. THE 289 SERIES RESINWOOD PLASTIC LUMBER IS MADE WITH A MIX OF HDPE PLASTICS AND ALL RECYCLED CONTENT USED IS 100% POST-CONSUMER.



| | | | |
|---|------------------------------|--|--|
| COMPANY: CAESAR ENGINEERING D.P.C. CONTACT: (518) 279-6156 contact@caesarengineering.work | DATE: 3/06/24 | PROJECT SPONSOR NUMBER: 518-274-3050 | PROJECT SPONSOR: TAP INC. |
| PROJECT ADDRESS: 30 3RD ST FIRST FLOOR TROY, NY 12180 | DRAWN BY: NG | PROJECT SPONSOR ADDRESS: 210 RIVER STREET TROY, NY 12180 | DRAFT FOR PLANNING BOARD NOT FOR CONSTRUCTION |
| PROJECT: ADLER PLACE | PROJECT NAME: P241 | PROJECT ADDRESS: 230 2ND STREET TROY, NY 12180 | |

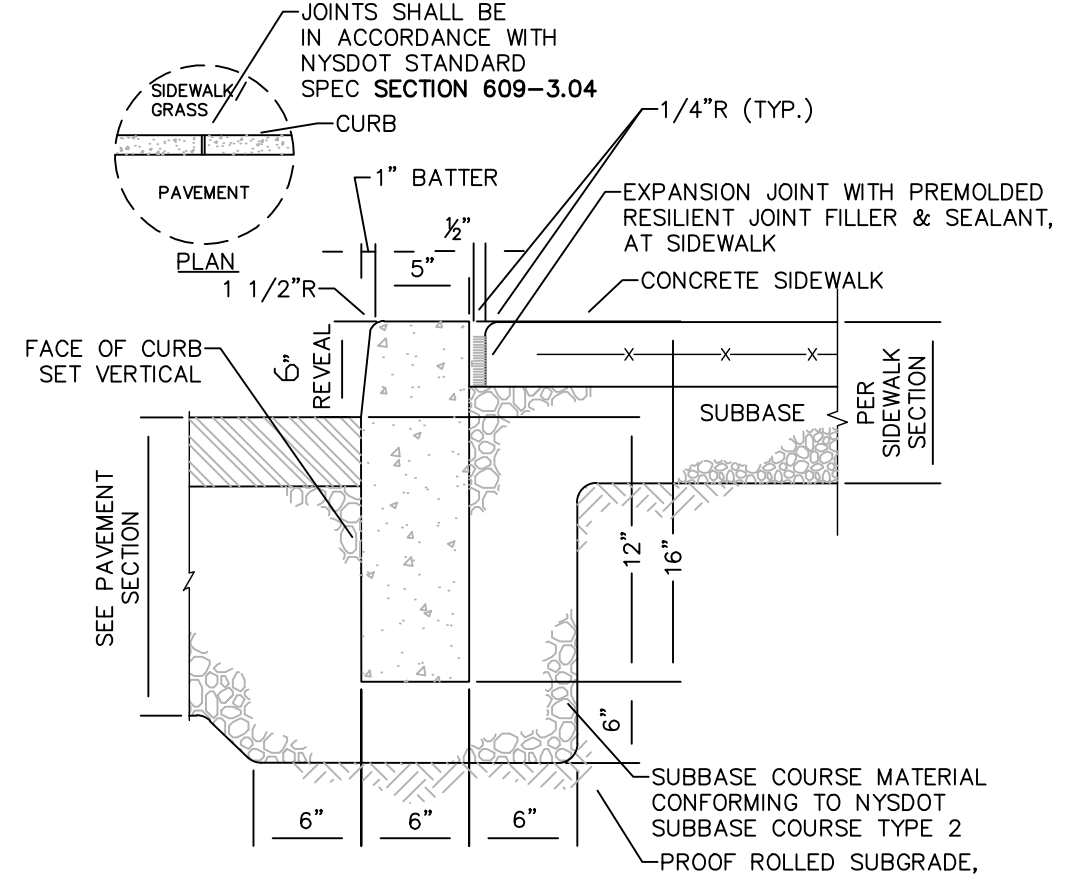
| DATE | REVISION DESCRIPTION | REV # |
|------|----------------------|-------|
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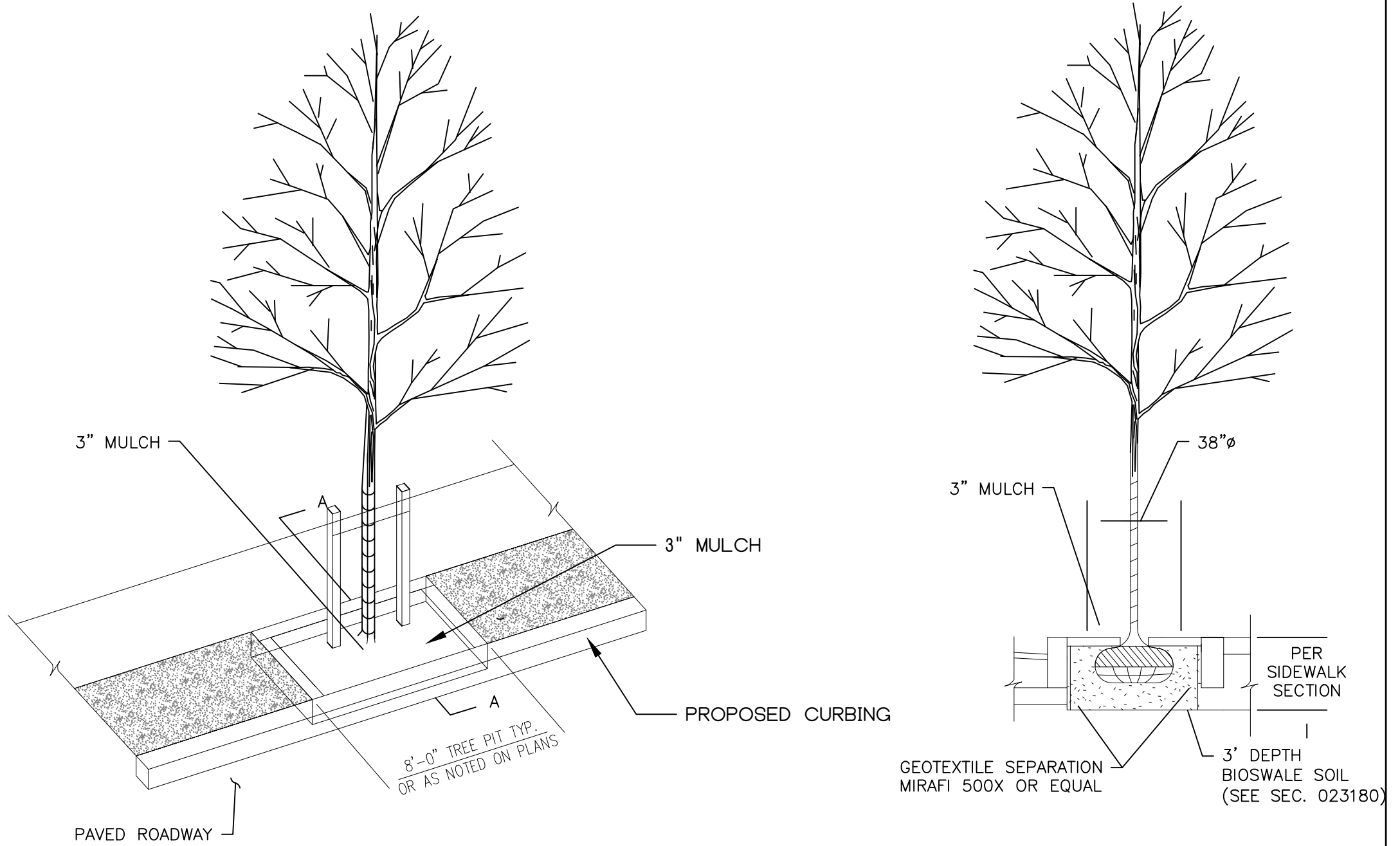
1. ALL WORK SHALL CONFORM WITH THE NYSOT STANDARD SPECIFICATION FOR CONSTRUCTION AND MATERIALS DATED, "CURRENT VERSION".
2. SLOPE RAMP AND SIDE FLARES AS INDICATED IN THE PLANS
3. DETECTABLE WARNING UNITS SHALL BE PROVIDED ON ALL RAMPS IN ACCORDANCE W/ ADA REQUIREMENTS.
4. WHERE THIS DIMENSION IS LESS THAN 4'-0", THE SIDE FLARES SHALL HAVE A SLOPE OF 1:13 OR FLATTER.

**CONCRETE SIDEWALK DETAIL
TYPICAL CORNER RAMP**
SD1
SHEET
C13
SCALE: NOT TO SCALE

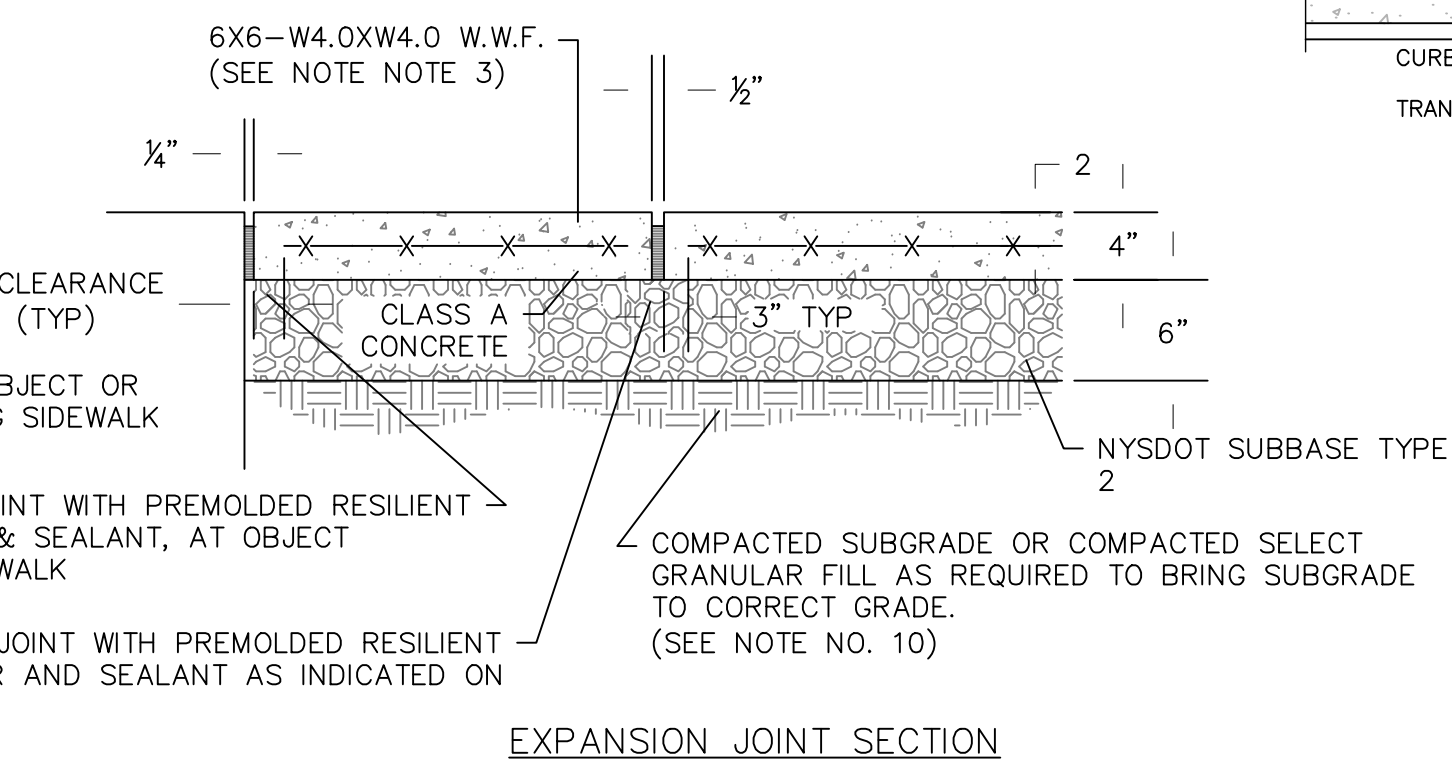


1. CONCRETE CURB SHALL BE INSTALLED IN ACCORDANCE WITH NYSOT STANDARD SPECIFICATION SECTION 609.
2. PRECAST CONCRETE CURB MAY BE SUBSTITUTED, WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. ALTERNATE CURB SHALL BE INSTALLED IN ACCORDANCE WITH NYSOT SPEC SECTION 609.

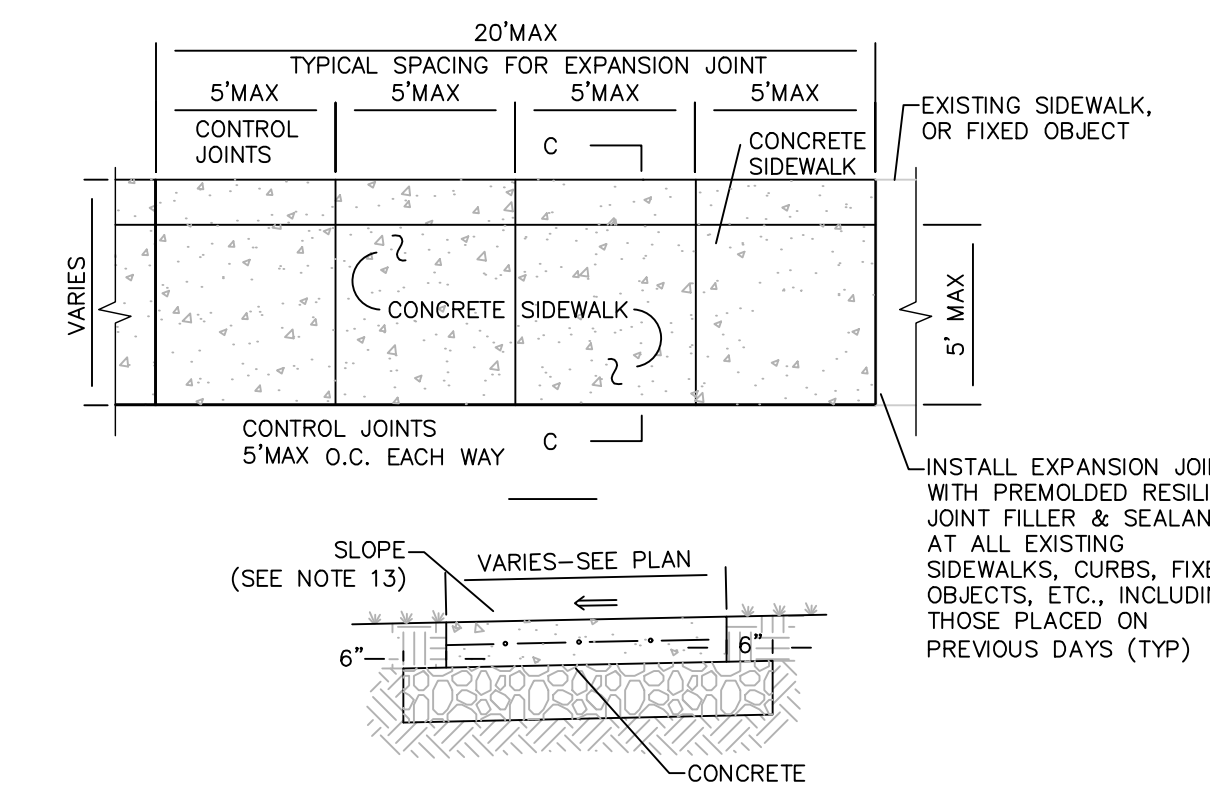
C1 CONCRETE CURB DETAIL
SHEET
C13
SCALE: NOT TO SCALE



TP1 SIDEWALK TREE PIT DETAIL
SHEET
C13
SCALE: NOT TO SCALE

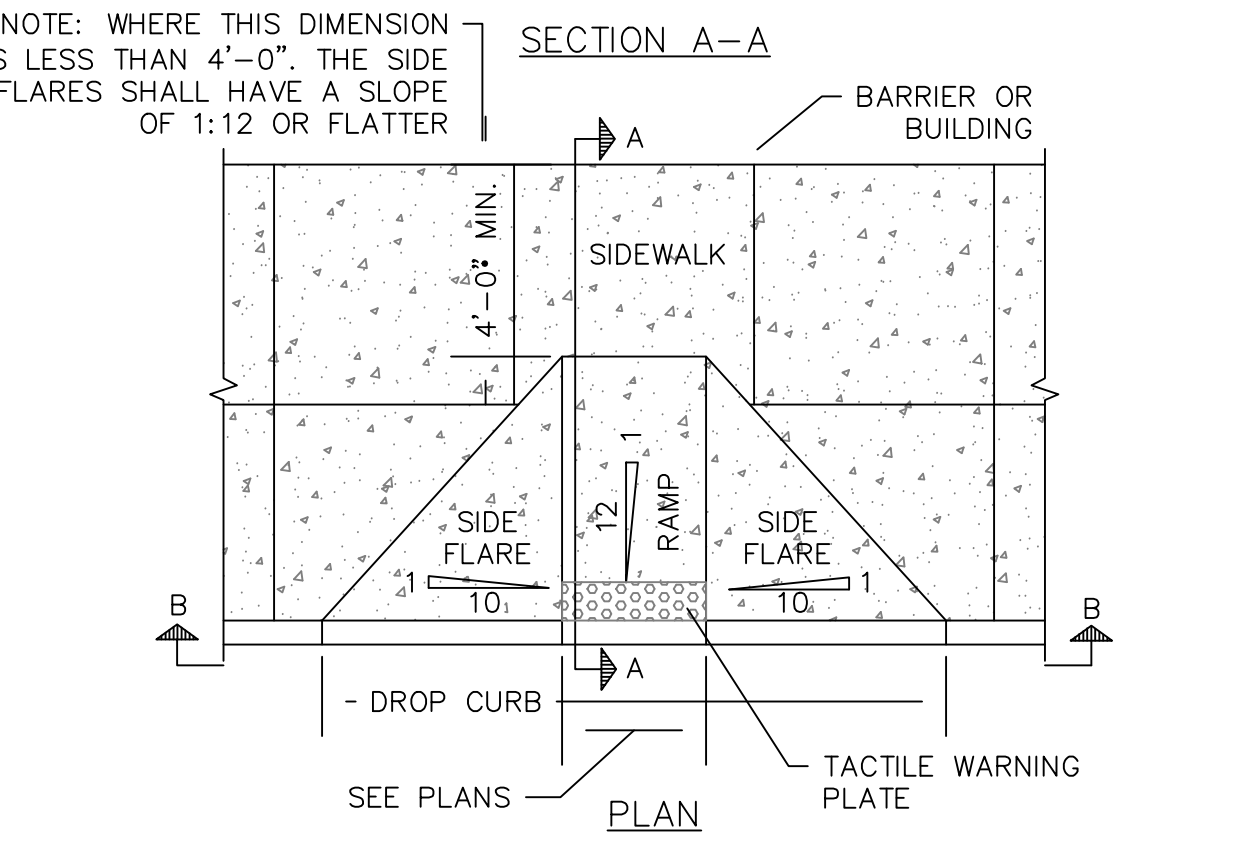
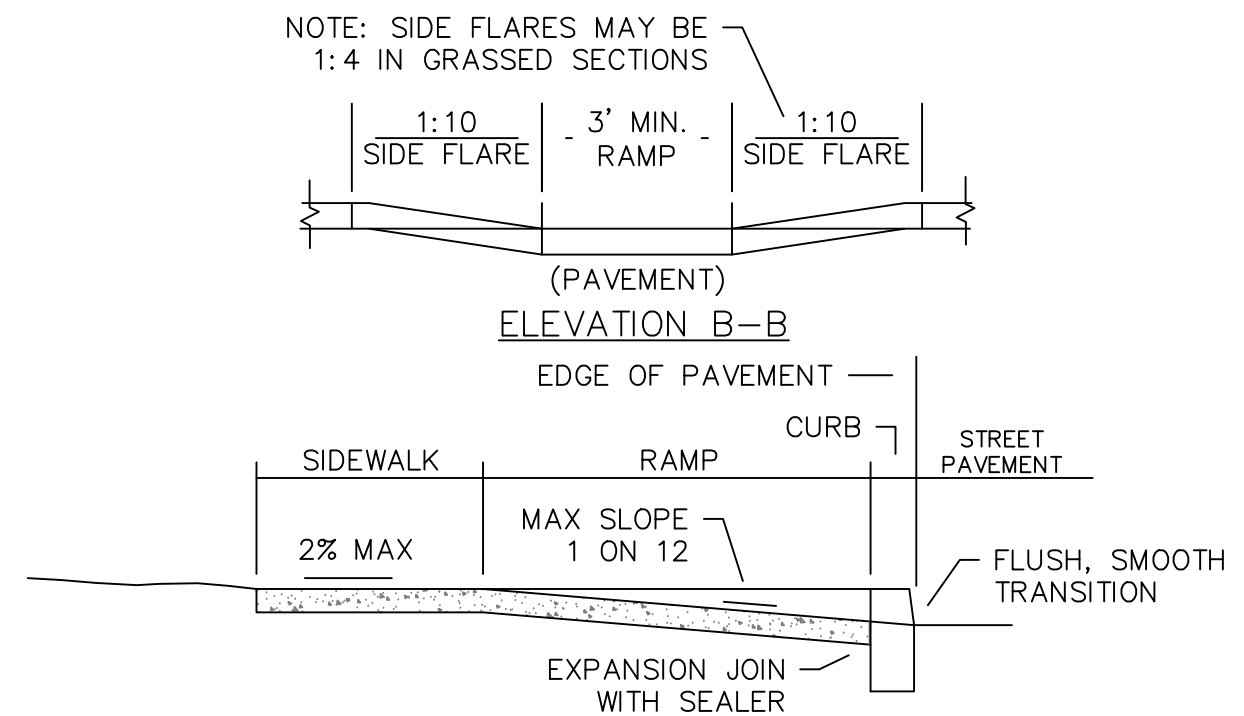


EXPANSION JOINT SECTION



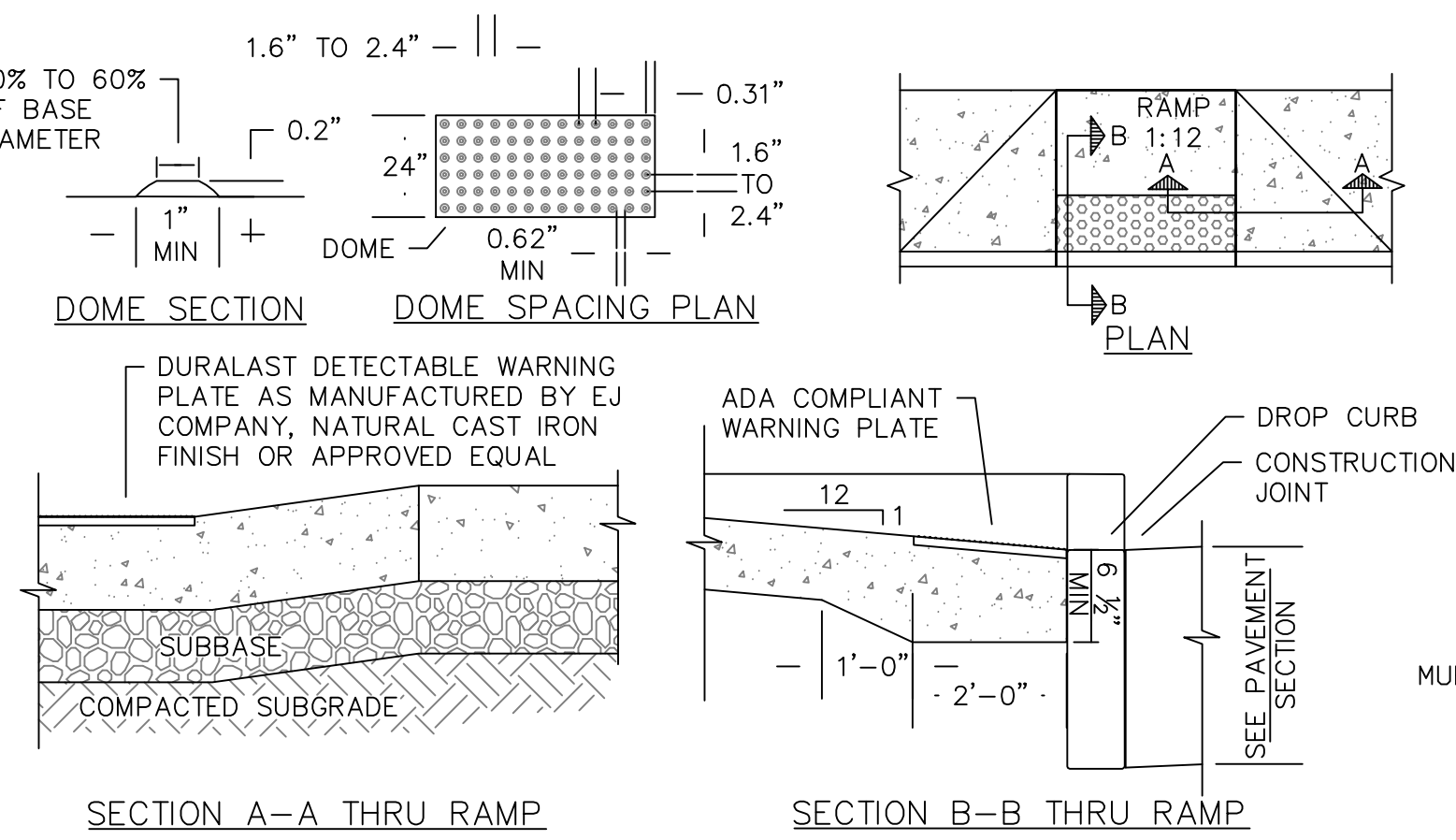
1. MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSOT) STANDARD
2. ALL CONCRETE SHALL BE 4000 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM WITH SECTION 500 OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
3. REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH SECTION 556 - REINFORCING STEEL FOR CONCRETE STRUCTURES OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
4. EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20'-0" ON CENTER, OR AS INDICATED ON PLANS.
5. JOINTS SHALL NOT BE SAW CUT.
6. SUBBASE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSOT STANDARD.
7. WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.
8. ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.

SD3 CONCRETE SIDEWALK DETAIL
SHEET
C13
SCALE: NOT TO SCALE



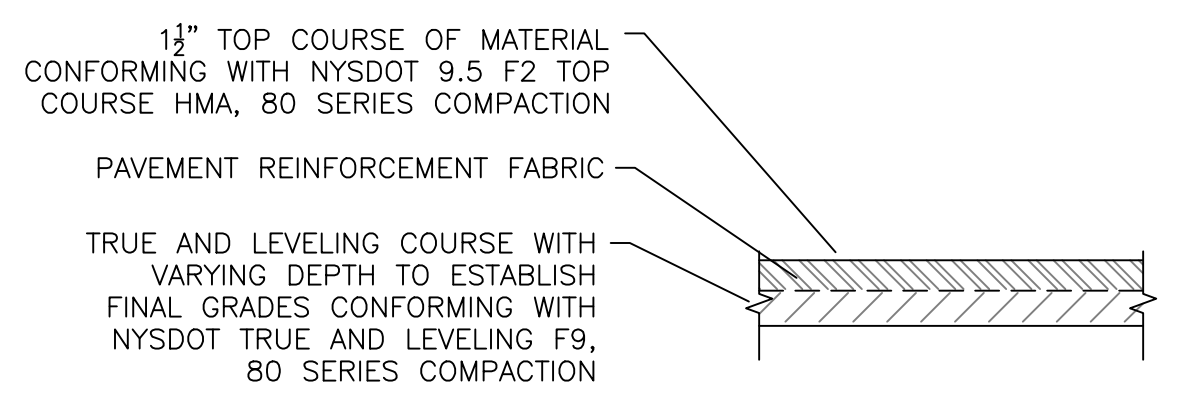
1. ALL WORK SHALL CONFORM WITH THE NYSOT STANDARD SPECIFICATION FOR CONSTRUCTION AND MATERIALS DATED, MAY 4, 2006 AND ALL APPENDIX THEREIN; SPECIFICALLY SECTION 608- SIDEWALKS, DRIVEWAYS, AND BICYCLE PATHS.
2. SLOPE RAMP AND SIDE FLARES AS INDICATED IN THE PLANS OR AS ORDERED BY THE ENGINEER.
3. TACTILE WARNING STRIPS SHALL BE PROVIDED ON ALL RAMPS IN ACCORDANCE W/ ADA REQUIREMENTS.

SD2 ADA RAMP WITH FLARED SIDE SLOPES
SHEET
C13
SCALE: NOT TO SCALE



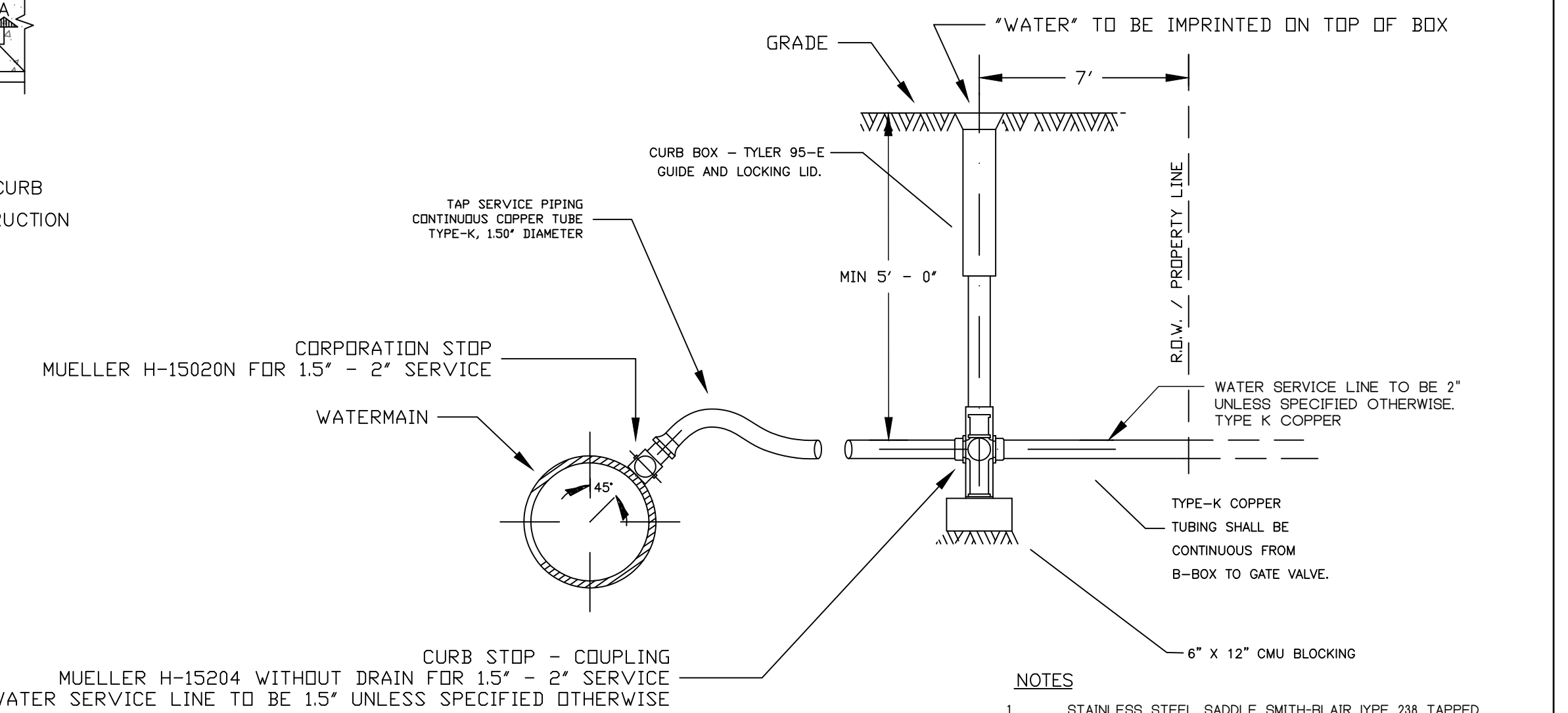
1. TACTILE WARNING STRIP SHALL BE ADA COMPLIANT INCLUDING VISUALLY CONTRASTING WITH ADJOINING SURFACES.

SD4 TACTILE WARNING FOR RAMPS
SHEET
C13
SCALE: NOT TO SCALE



1. MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS
2. HOT MIX ASPHALT (HMA) PAVEMENT SHALL CONFORM WITH SECTION 400-HOT MIX ASPHALT OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS AND THE TYPE CALLED OUT IN THESE DRAWINGS. ALTHOUGH SECTION 400 IN ITS ENTIRETY IS REFERENCED, THE HOT MIX ASPHALT (HMA) PAVEMENT(S) SPECIFIED FOR THIS CONTRACT SHALL BE AS SPECIFIED UNDER SECTION 402-HOT MIX ASPHALT (HMA) PAVEMENTS.
3. TACK COAT MATERIAL AND APPLICATION RATE WHEN SPECIFIED OR CALLED OUT IN THESE DRAWINGS OR REQUIRED BY THE REFERENCED SPECIFICATIONS SHALL CONFORM WITH SECTION 407-TACK COAT OF THE ABOVE REFERENCED NYSOT STANDARD SPECIFICATIONS.

PV1 TYPICAL PAVEMENT RESTORATION
SHEET
C13
SCALE: NOT TO SCALE

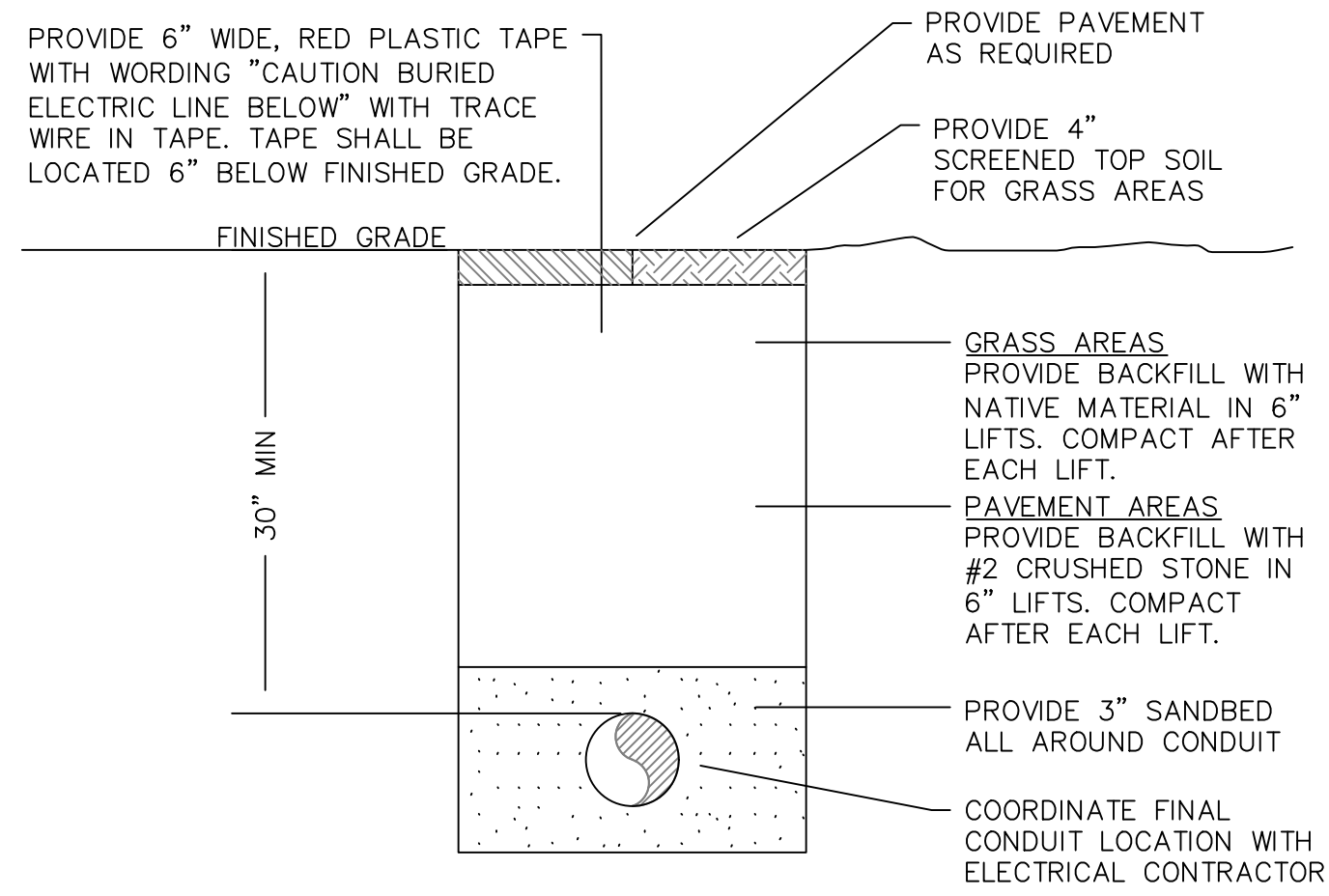


WS1 WATER SERVICE CONNECTION
SHEET
C13
SCALE: NOT TO SCALE

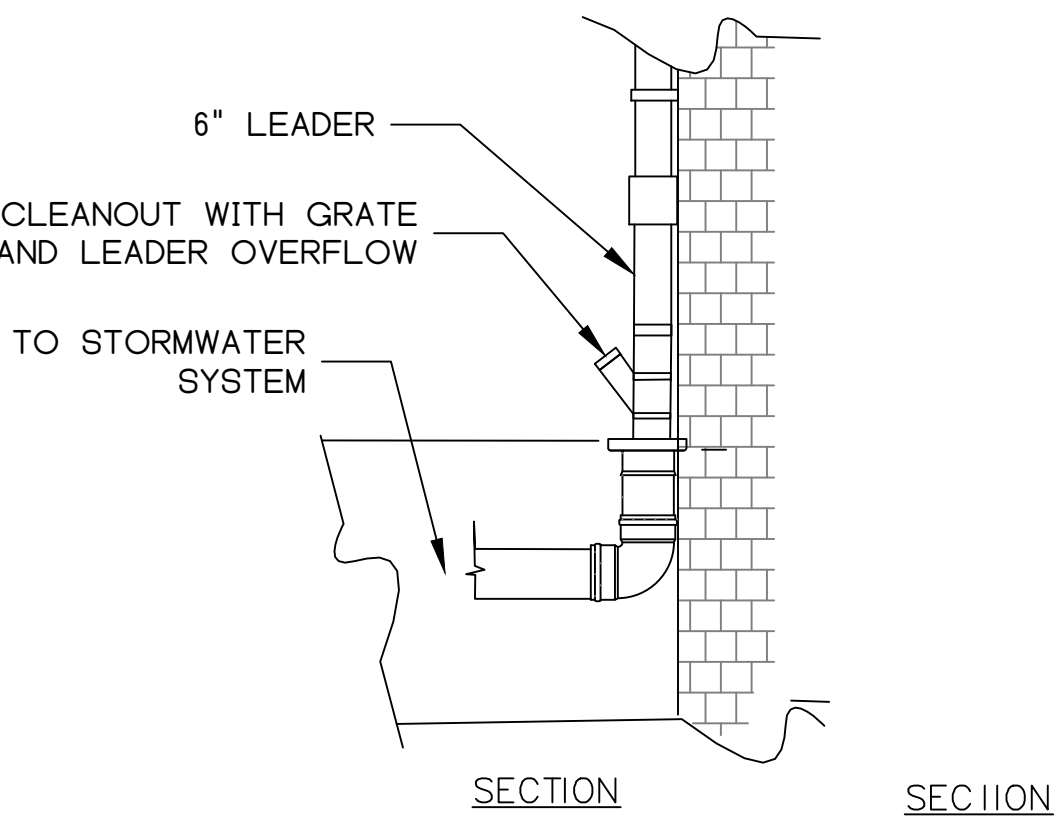
- NOTES**
1. STAINLESS STEEL SADDLE SMITH-BLAIR TYPE 238 TAPPED FULL CIRCLE REPAIR CLAMP (304 STAINLESS STEEL BOLTS & 12-1/2" BAND WIDTH) OR APPROVED EQUAL.
 2. FOR PVC WATERMAIN - USE DOUBLE STUD STAINLESS STEEL SADDLE AND BOLTS(SMITH BLAIR 372).
 3. TEFLON PASTE OR TAPE SHALL NOT BE ALLOWED.
 4. WATER SERVICE AND FIRE SUPPRESSION SYSTEM SHALL BE MADE AND INSTALLED BY A LICENSED PLUMBER IN ACCORDANCE WITH THE ILLINOIS STATE PLUMBING CODE.
 5. USE FLARED FITTINGS FOR ALL CONNECTIONS.
 6. ROD & RING GUIDE TO BE USED ON 3/4" AND 1" SERVICES ONLY.

| | | | |
|--|--------------------------------|--|--|
| COMPANY: CAESAR ENGINEERING D.P.C. CONTACT: (518) 279-6156 contact@caesarengineering.com | DATE: 30DEC24 | PROJECT SPONSOR NUMBER: 518-274-3050 | DRAFT |
| LOCATION FIRM ADDRESS: 10 3RD ST. FIRST FLOOR TROY, NY 12180 | DESIGNED BY: NG | PROJECT SPONSOR ADDRESS: 610 REVER STREET TROY, NY 12180 | |
| PROJECT: ADLER PLACE | PROJECT NUMBER: P241 | PROJECT ADDRESS: 230 2ND STREET TROY, NY 12180 | FOR PLANNING BOARD NOT FOR CONSTRUCTION |
| DATE | REVISION DESCRIPTION | REV # | SHEET IDENTIFICATION C13 CONSTRUCTION DETAILS 3 SHEET 8 OF 10 (TOTAL SHEETS) |

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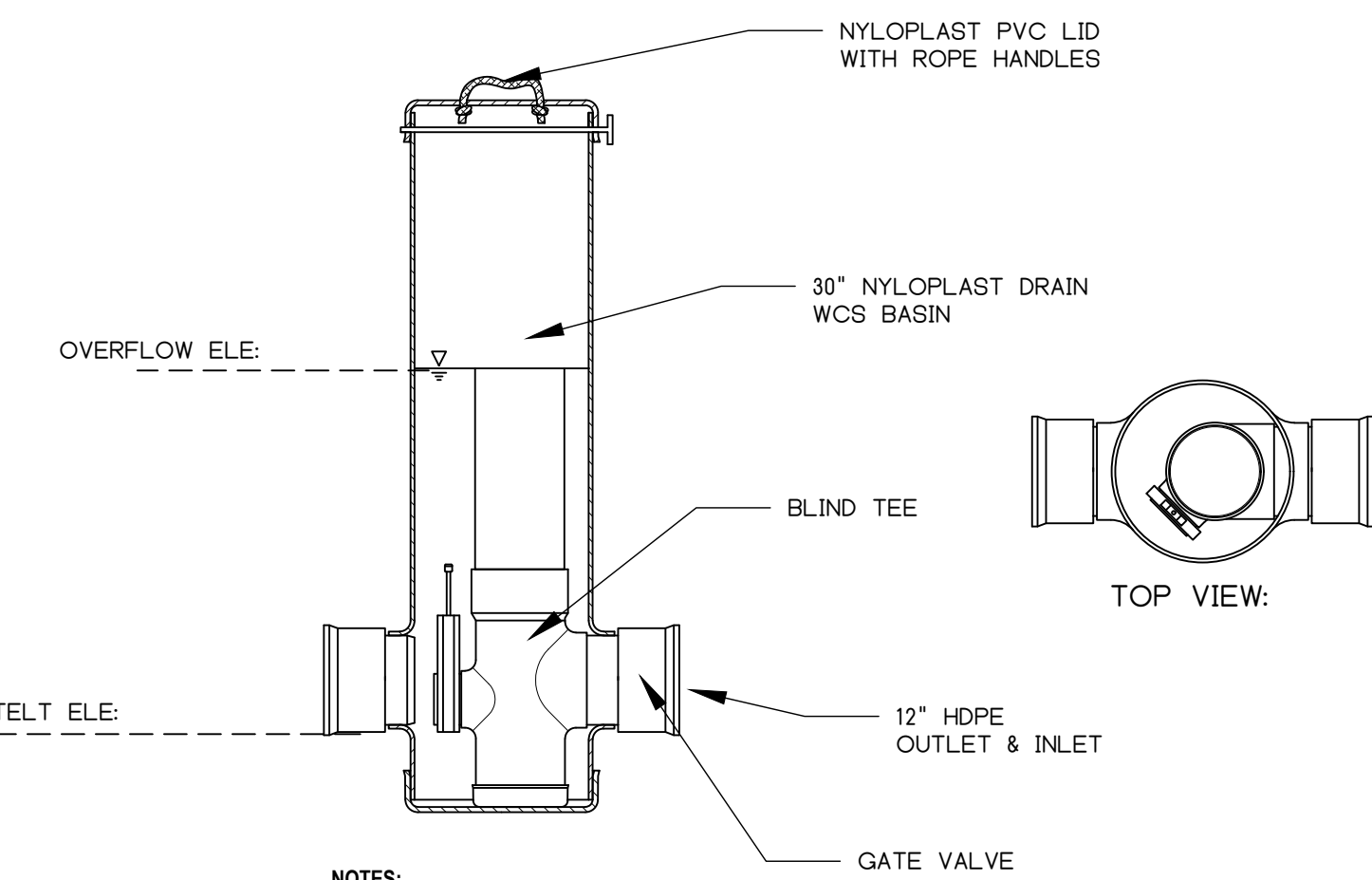
E1 DIRECT BURIED CONDUIT DETAIL
SHEET C14 SCALE: NOT TO SCALE



- SEE PLANS FOR PIPING INVERTS.
- PAINT: CASTINGS TO BE FURNISHED WITH A BLACK PAINT OR AS SELECTED BY THE OWNER.
- IN-LINE DRAIN BY NYLOPLAST OR APPROVED EQUIVALENT.

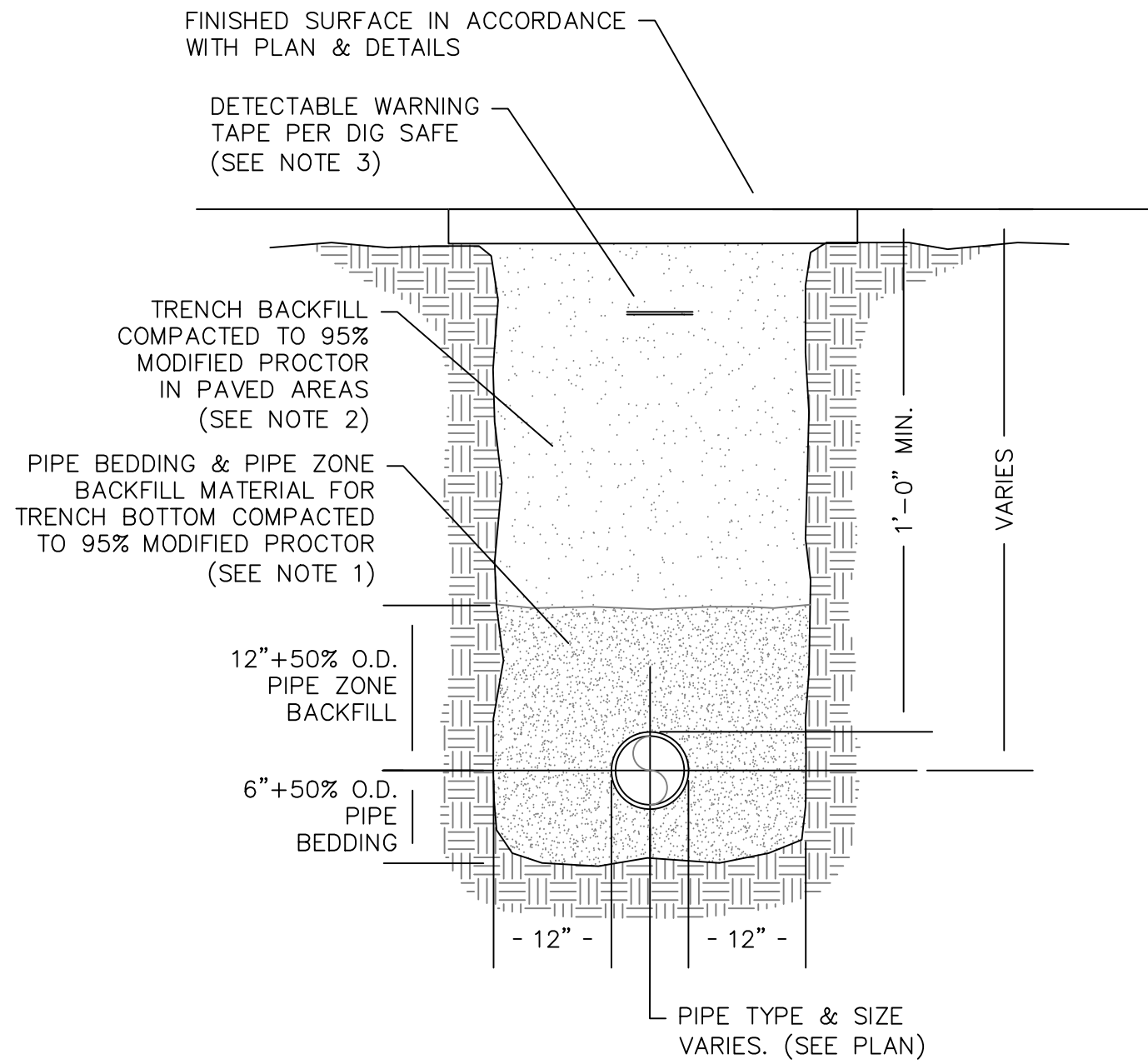
IN-LINE DRAIN & GRATE

ST10 RAIN LEADER TO STORMWATER DETAIL
SHEET C14 SCALE: NOT TO SCALE

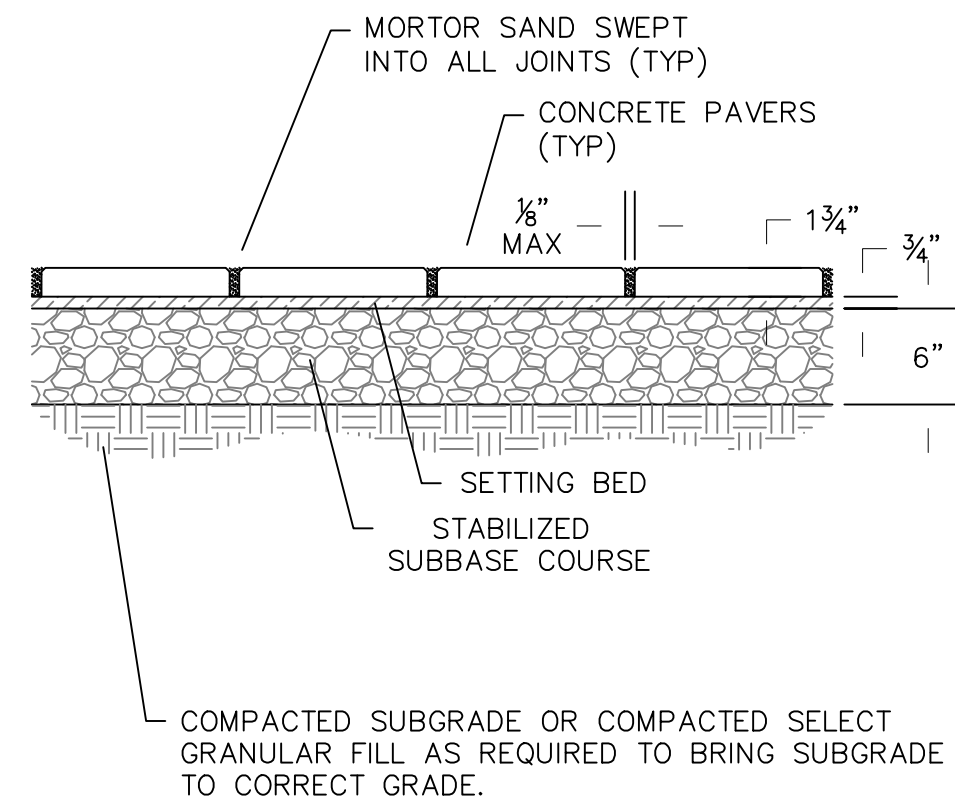


- NOTES:
- REMOVABLE STAND PIPE AND OUTLET SIZE ARE RESTRICTED BY FLOW CONTROL STRUCTURE SIZE.
 - REMOVABLE STAND PIPE HEIGHT CAN VARY ACCORDING TO PLAN DETAILS.
 - FLOW CONTROL STRUCTURE TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS.
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

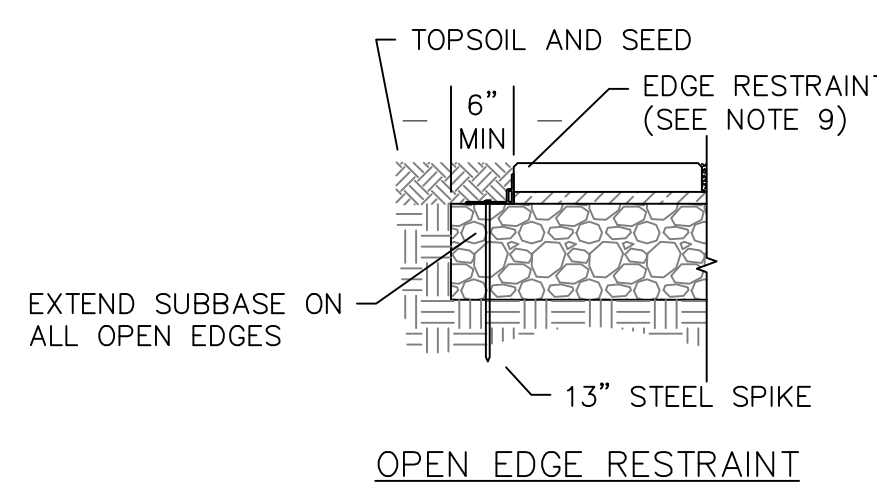
ST9 OUTLET: NYLOPLAST 30" WATER CONTROL STRUCTURE
SHEET C14 SCALE: NOT TO SCALE



ST7 PIPE TRENCH DETAIL
SHEET C16 SCALE: NOT TO SCALE



TYPICAL SECTION



OPEN EDGE RESTRAINT

- MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, DATED JANUARY 1, 2016
- ALL WORK SHALL CONFORM WITH SECTION 608-SIDEWALK, DRIVEWAYS, AND BICYCLE PATHS OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
- MORTAR SAND SHALL BE INSTALLED PER SECTION 608-3.03 OF THE ABOVE REFERENCED NYSDOT STANDARD.
- WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
- PAVER EDGE RESTRAINT SHALL BE USED ON ALL EDGES THAT ABUT TURF. EDGE RESTRAINT SHALL BE HANOVER EDGE 100 OR APPROVED EQUAL AND INSTALLED PER MANUFACTURERS SPECIFICATIONS.

H2 CONCRETE PAVER DETAIL
SHEET C14 SCALE: NOT TO SCALE

- PIPE BEDDING & PIPE ZONE BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) SAND OR A MIXTURE OF CRUSHED STONE AND GRAVEL, FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. BEDDING GRADATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND/OR PLUMBING INSPECTOR AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

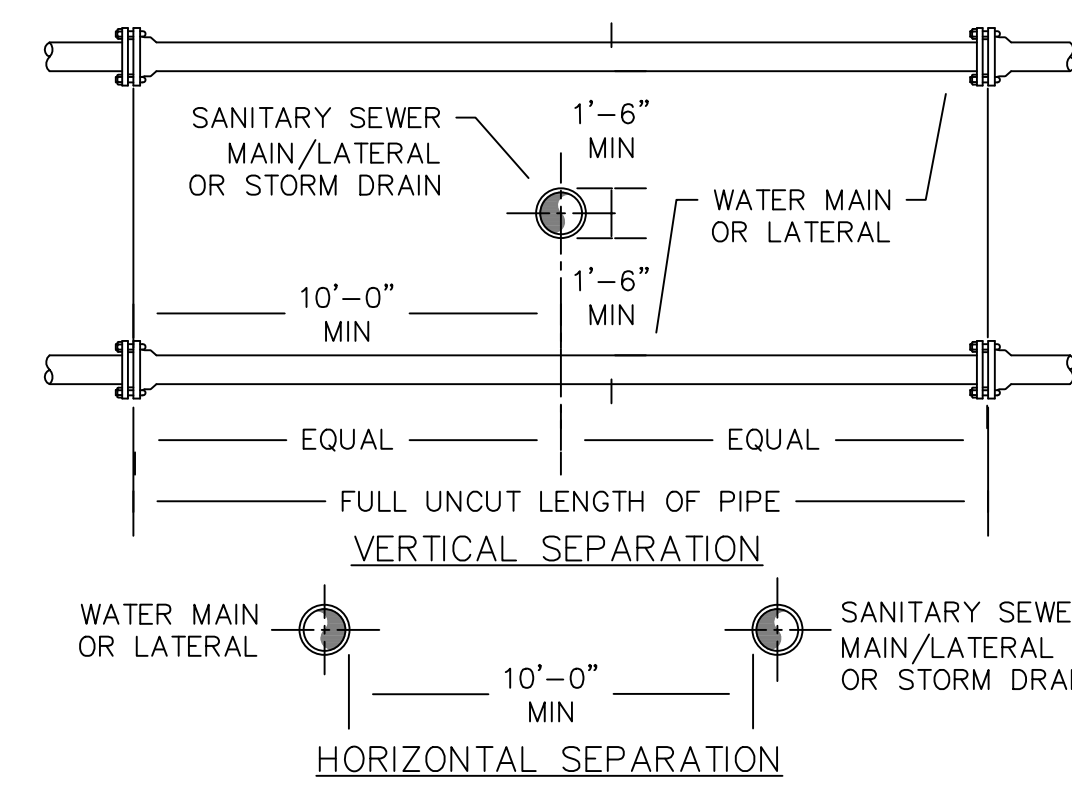
| SIEVE DESIGNATION | % PASSING |
|-------------------|-----------|
| 3/4" | 100% |
| NO. 40 | 0-70% |
| NO. 200 | 0-10% |

- TRENCH BACKFILL SHALL BE A NATURAL RUN-OF-BANK (R.O.B.) OR PROCESSED GRAVEL, OR EXCAVATED MATERIAL FREE OF SOFT, NONDURABLE PARTICLES, ORGANIC MATERIALS AND ELONGATED PARTICLES, AND SHALL BE WELL GRADED FROM FINE TO COARSE PARTICLES. TRENCH BACKFILL GRADATIONS SHALL BE APPROVED BY THE CITY ENGINEER AND/OR PLUMBING INSPECTOR AND SHALL MEET THE FOLLOWING GRADATION REQUIREMENTS:

| SIEVE DESIGNATION | % PASSING |
|-------------------|-----------|
| 4" | 100% |
| NO. 40 | 0-70% |
| NO. 200 | 0-10% |

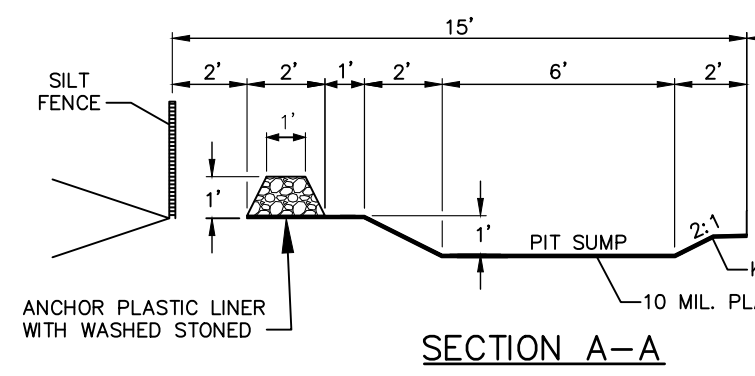
IN UNPAVED AREAS TRENCH BACKFILL CAN BE MATERIALS EXCAVATED FROM THE TRENCH AS APPROVED BY THE ENGINEER.

- INSTALL CONTINUOUS DETECTABLE MARKING TAPE DURING BACKFILLING OF TRENCH FOR UNDERGROUND PIPING. LOCATE TAPE 12" BELOW FINISHED GRADE, DIRECTLY OVER PIPING, EXCEPT 6" BELOW SUBGRADE UNDER PAVEMENTS & SLAB.
- TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.

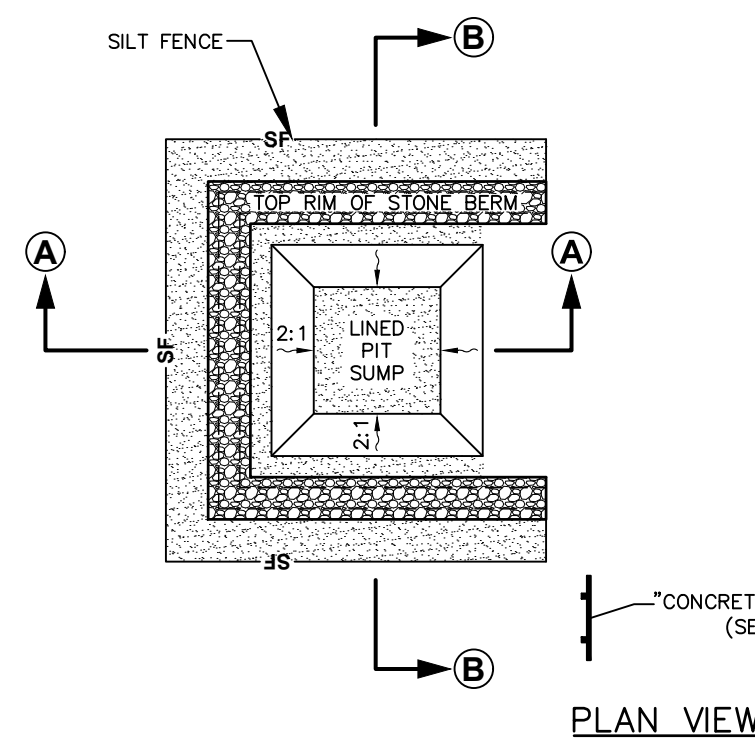


- NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT THE EXPRESS APPROVAL OF THE NYS HEALTH DEPARTMENT. OFFSETTING OF WATERLINE SHALL BE REQUIRED WHERE SEPARATION DISTANCES CANNOT BE MAINTAINED, SEE WATER MAIN OFFSET DETAIL 4/C-516.
- WHEN IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS INDICATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT DUCTILE IRON PIPE OR PVC WATER WORKS GRADE PRESSURE PIPE FOR 10' EACH SIDE OF CROSSING AND SHALL BE PRESSURE TESTED TO 150psi TO ASSURE WATER TIGHTNESS.

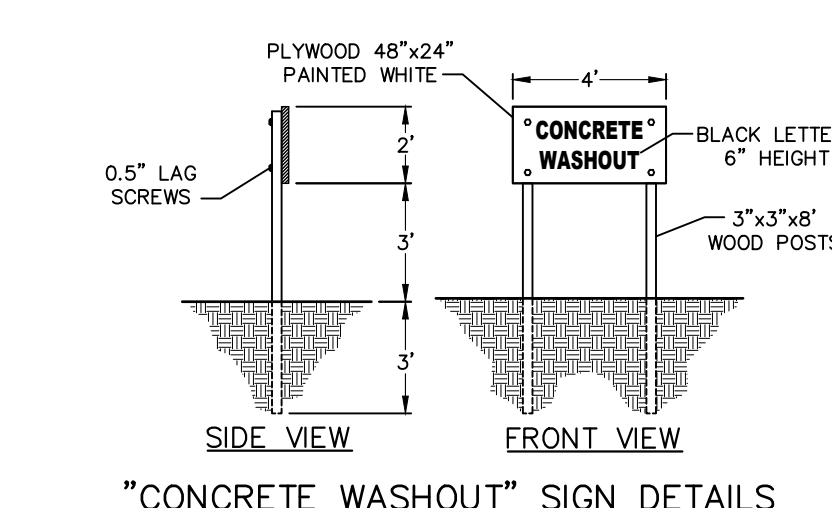
WS2 WATER MAIN & SANITARY SEWER / STORMWATER SEPARATION DETAIL
SHEET C14 SCALE: NOT TO SCALE



SECTION A-A

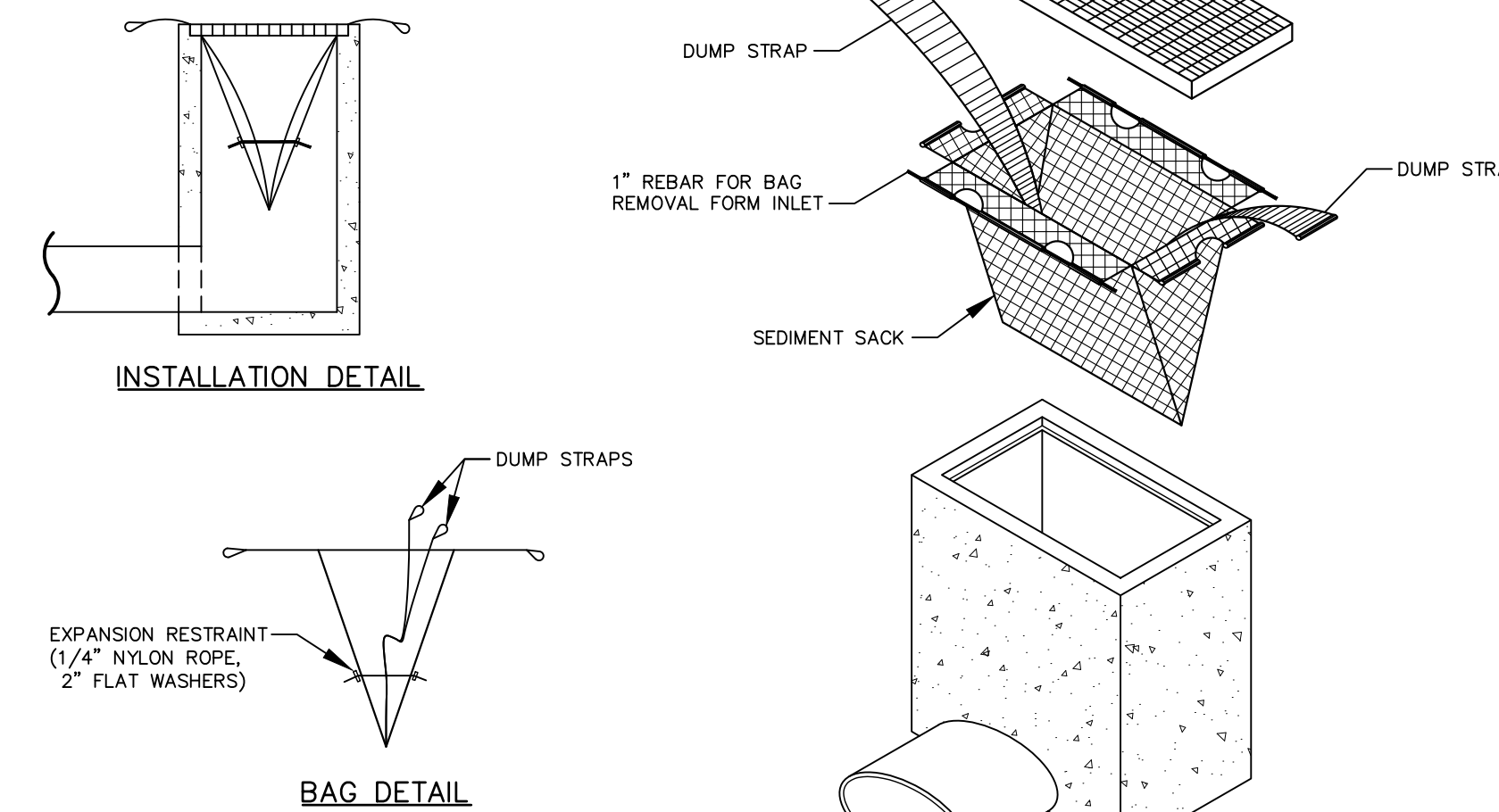


SECTION B-B



"CONCRETE WASHOUT" SIGN DETAILS

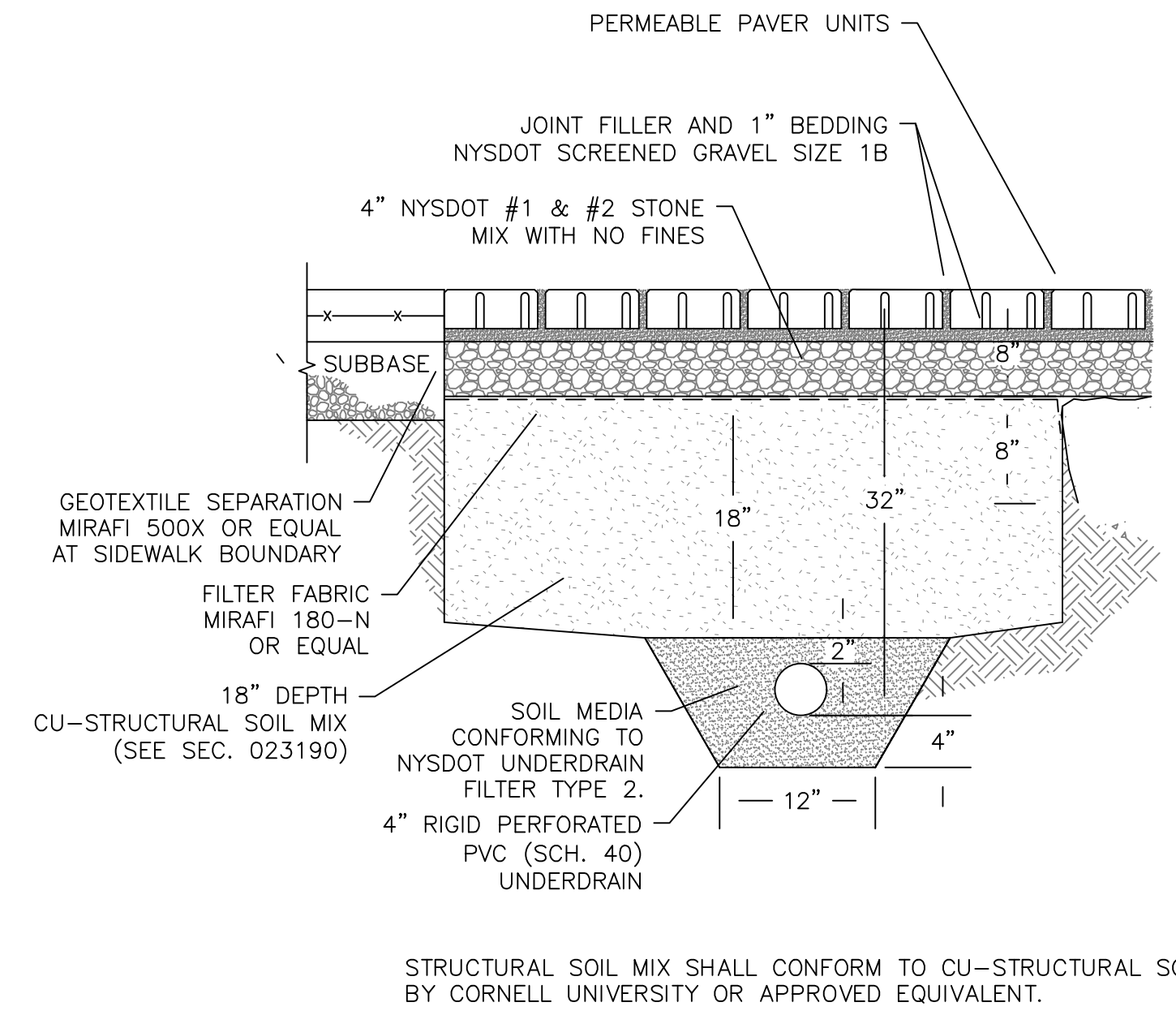
CW1 TEMPORARY CONCRETE WASHOUT
SHEET C14 SCALE: NOT TO SCALE



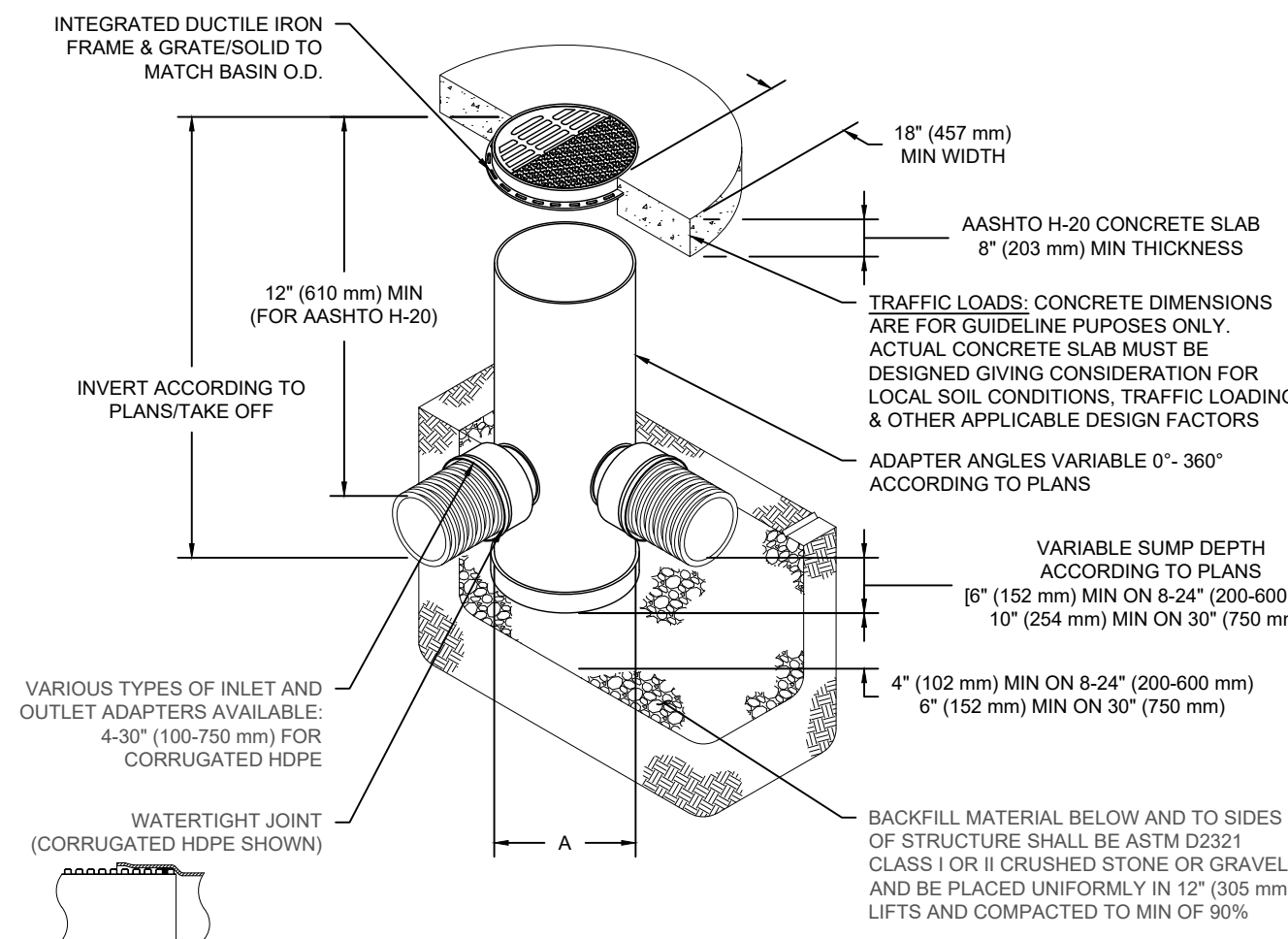
INSTALLATION DETAIL

BAG DETAIL

ES3 STORM DRAIN DROP INLET PROTECTION
SHEET C14 SCALE: NOT TO SCALE



H1 PERMEABLE PAVER DETAIL
SHEET C14 SCALE: NOT TO SCALE



- NOTES:
- 30" GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 - 12-30" (300-750 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
 - FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST-US.COM
 - TO ORDER CALL: 800-821-6710

| A | PART # | GRATE/SOLID COVER OPTIONS |
|-----|--------|---------------------------|
| 30" | 2830AG | PEDESTRIAN AASHTO H-20 |
| 30" | | STANDARD AASHTO H-20 |
| 30" | | SOLID AASHTO H-20 |

ST8 INLET: NYLOPLAST 30" DRAIN BASIN
SHEET C14 SCALE: NOT TO SCALE

| | | |
|--|---|--|
| COMPANY: CAESAR ENGINEERING D.P.C. CONTACT: (518) 279-6156 contact@caesarengineering.com | DATE: 30DEC24 DESIGNED BY: N. GOODEN, P.E. | PROJECT SPONSOR NUMBER: 518-274-3050 PROJECT NUMBER: TAP INC. |
| SECTION FIRM ADDRESS: 30 3RD ST. FIRST FLOOR TROY, NY 12180 | DESIGN BY: NG | PROJECT SPONSOR ADDRESS: 210 REVER STREET TROY, NY 12180 |
| PROJECT: ADLER PLACE | PROJECT NUM: P241 | PROJECT ADDRESS: 230 2ND STREET TROY, NY 12180 |

FOR PLANNING BOARD NOT FOR CONSTRUCTION

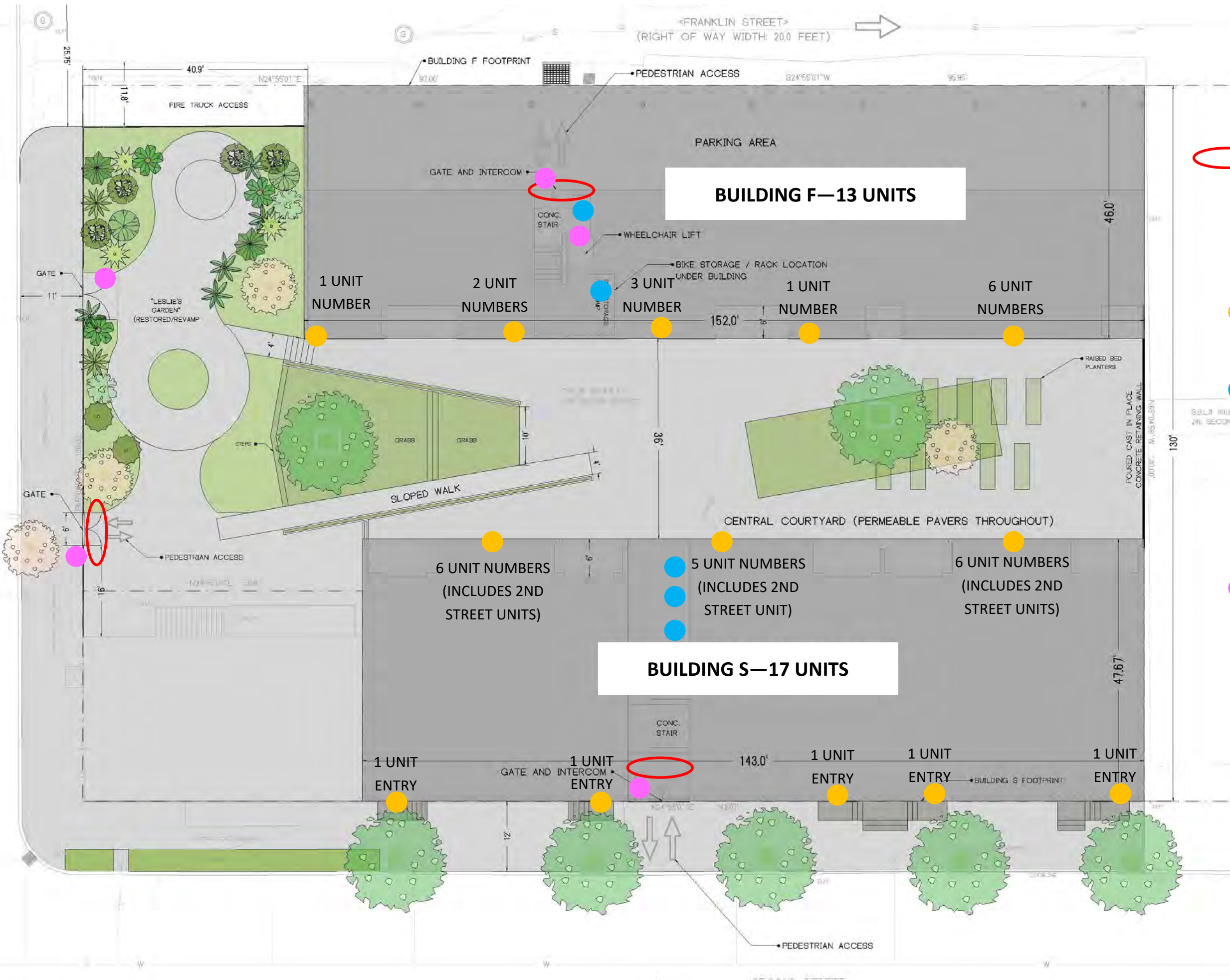
DRAFT

| DATE | REVISION DESCRIPTION | REV # |
|------|----------------------|-------|
| | | |

811
Call before you dig

CAESAR ENGINEERING

SHEET IDENTIFICATION
C14
CONSTRUCTION DETAILS 4



BUILDING F—13 UNITS

BUILDING S—17 UNITS

- ADLER PLACE**
8" high, all capital letters, cut into 1/4" steel plate, painted black
- **UNIT NUMBERS**
- **ROOM SIGNAGE:**
Electric Meter Room
Sprinkler Aparatus Room
Package Delivery Room
Electric Bicycle Storage
- **INFORMATION SIGNAGE**
Wheelchair Lift Operation
Intercom Operation
Leslie's Garden Information

GATEWAY SIGNAGE— 8” high capital letters will be affixed to the operable gates similar to the image at right. Individual letters will be tack welded to the steel gates



ADLER PLACE

UNIT NUMBERS - The county tax office and 911 dispatch are working with the TFD to establish the unit addresses. Many entry doors serve more than one unit so those will have multiple numbers.

234

236—244

ROOM SIGNAGE there are several utility rooms along the open corridors that will need signage. These will be vinyl applique on the doors themselves. Letters will be all capitals 2” high

Electric Meter Room

Sprinkler Apparatus Room

Package Delivery Room

Electric Bicycle Storage

INFORMATION SIGNAGE

Wheelchair Lift Operation

Intercom Operation

Leslie’s Garden Information

LIFT OPERATION:
ENTER PLATFORM AND
SHUT GATE BEHIND YOU.
PRESS UP OR DOWN.
ETC ETC ETC

ELECTRIC METER ROOM

NOTE

ALL SIGNAGE WILL BE DESIGNED TO MEET CURRENT ORDINANCE REQUIREMENTS. SHOP DRAWINGS WILL BE SUBMITTED FOR REVIEW AND FINAL APPROVAL BEFORE INSTALLATION.



Complete Streets Form

Using this form

This form is required for projects in or impacting the Right of Way in the City of Troy to ensure proposed changes comply with the Complete Streets Ordinance (City Code, Chapter 271). Failure to complete this form can prevent cases from being heard by the Zoning Board of Appeals and Planning Commission.

Complete Streets refers to designing streets for all people, regardless of mode of transportation or physical ability. This ensures pedestrians, bicyclists, motorists and public transportation users of all ages and abilities are able to safely and comfortably navigate the City of Troy.

Applicability All transportation facilities in the public right-of-way, including streets, bridges and other connecting pathways. All privately constructed streets, parking lots, and connecting pathways shall adhere to this policy. This includes private projects involving garages, driveways, sidewalks, curb cuts, staircases, etc. All projects projected to increase the number of roadway users.

This form does not apply to projects consisting solely of minor maintenance (Example: Replacing the roof on a single family home) or to projects without any impact on public access (like adding a shed to a private yard)

If this is a City or a privately funded project, continue with the form below. If you are unsure if this form applies to your project or need help completing the form, please contact eric.ferraro@troyny.gov

| | | | |
|--------------------|------------------------------|-----------------------|-----------------------------|
| Applicant Name: | <u>TAP Inc.</u> | Location of Proposal: | <u>230 2nd Street, Troy</u> |
| | <u>210 River St, Troy NY</u> | | |
| Applicant Address: | _____ | Date submitted: | <u>Nov 25, 2024</u> |
| Phone Number: | <u>518-274-3050</u> | Email Address: | <u>admin@tapinc.org</u> |

Existing use: Vacant land, parking lot, and private garden

Description of Work & Proposed Use: Construction of two 3-story buildings 30 condominium apartment units

Audit of Existing Conditions (can be completed with a site visit and online mapping tools)

1. Total width of the Right-of-Way (Property line to Property line): 56 feet _____ inches
2. Road Width (Curb to Curb): 32 feet _____ inches
3. Sidewalk
 - Material (concrete, slate, asphalt, no sidewalk) & condition: concrete
 - Width: 12 feet _____ inches

- Curb height/material/condition: height and material varies, all curbs under 4" will be reset or replaced with granite to meet 4" min height requirement

- Utility strip width (area between curb & sidewalk): _____ ft _____ in / material: _____ / None

- Describe staircases, driveways, or other encroachments: all driveways will be removed

- Are there any proposed curb cuts?: Yes: NO / No

4. Parking

- Existing off-street parking: 18 spaces

- Number of off-street parking spaces required: 0

- Describe new predicted usage/demand: see TDMP

5. Bicycle Facilities - Reference the Troy Bicycle Plan (see page 24) as needed:

[www.ptny.org/application/files/8915/1854/0738/Troy Bicycle Connections FINAL.pdf](http://www.ptny.org/application/files/8915/1854/0738/Troy_Bicycle_Connections_FINAL.pdf)

- Is this project on the Troy Bikeway Network? Primary/Secondary/Neighborhood/No

- Do bike lanes or trails exist within a ¼ mile of the project area? Yes: 1st Street bike trail / No

- Is there existing bicycle infrastructure nearby? Yes: 1st Street bike trail / No

- Is bicycle parking and storage considered in your proposal?: Yes: YES / No

6. Transit - Reference CDTA as needed: <https://www.cdta.org>

- Is this project located on a bus route? Yes: YES / No

- Are there bus stops within a quarter mile? Yes: YES / No

7. Accessibility - Reference FWHAs ADA guidelines as needed: <https://www.access-board.gov/guidelines-and-standards/buildings-and-sites/about-the-ada-standards/guide-to-the-ada-standards>

- Will the site be wheelchair accessible? Yes / No

- Are the existing sidewalks universally accessible for people with disabilities? Yes / No

- Are there accessible ramps at the adjacent corners/intersections? Yes / No

8. Miscellaneous

- Are there schools, hospitals, senior centers, community centers, or centers for persons with disabilities within ¼ mile of the project area? Yes: _____ /No

- Describe any existing or future traffic concerns: _____

-
- Does this site require regular truck deliveries? Yes: _____ /No
 - Does this proposal include green infrastructure? Yes: Courtyard and garden /No
 - Additional Notes: _____
-
-
-

Please contact eric.ferraro@troyny.gov or call 518-279-7169 if you have any questions

THE SECTION BELOW IS FOR OFFICIAL USE ONLY

Suggested improvements that should be incorporated into the project:

❖ Signs and Lines

- Wayfinding Signage
- Crosswalks
- Informational Signage
- Pavement Striping

❖ Geometry / Hardware / Infrastructure

- Sidewalk Width
- Bicycle Lanes
- Curb Ramps
- Bicycle parking
- Traffic Calming
- ADA compliance
- Bus Stops/Shelters

❖ Operations

- Bike/Ped Connections
- Transit Facilities
- Consolidated Driveways
- Loading/Unloading
- Pedestrian Safety Improvements

❖ Greening / Aesthetics

- Lighting
- Sidewalk Furniture/Accessories
- Utility/Planting Strip
- Street Trees

Describe suggested improvements:

Approved by: _____ Date: _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

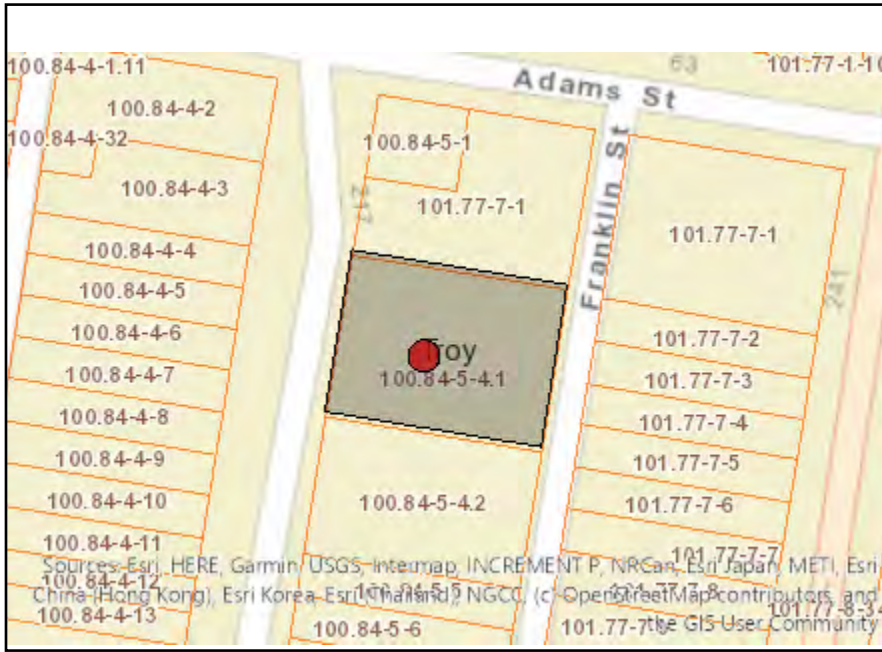
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| Part 1 – Project and Sponsor Information | | | |
|--|--|------------|---------------------------------|
| Name of Action or Project: | | | |
| Project Location (describe, and attach a location map): | | | |
| Brief Description of Proposed Action: | | | |
| Name of Applicant or Sponsor: | | Telephone: | |
| | | E-Mail: | |
| Address: | | | |
| City/PO: | | State: | Zip Code: |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | NO <input type="checkbox"/> |
| | | | YES <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: | | | NO <input type="checkbox"/> |
| | | | YES <input type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action? _____ acres | | | |
| b. Total acreage to be physically disturbed? _____ acres | | | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres | | | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: | | | |
| 5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban) | | | |
| <input type="checkbox"/> Forest Agriculture Aquatic Other(Specify): | | | |
| <input type="checkbox"/> Parkland | | | |

| 5. Is the proposed action, | NO | YES | N/A |
|---|--------------------------|--------------------------|--------------------------|
| a. A permitted use under the zoning regulations? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| b. Are public transportation services available at or near the site of the proposed action? | <input type="checkbox"/> | <input type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| | | | |

| | | |
|--|--------------------------|--------------------------|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| 16. Is the project site located in the 100-year flood plan? | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____ | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| | | |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____ | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ | NO | YES |
| | <input type="checkbox"/> | <input type="checkbox"/> |
| I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: <u> <i>B. W. D.</i> </u> Title: <u> Executive Director </u> | | |



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



| | |
|---|--|
| Part 1 / Question 7 [Critical Environmental Area] | No |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | Yes |
| Part 1 / Question 12b [Archeological Sites] | Yes |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] | No |
| Part 1 / Question 15 [Threatened or Endangered Animal] | Yes |
| Part 1 / Question 15 [Threatened or Endangered Animal - Name] | Atlantic Sturgeon, Shortnose Sturgeon |
| Part 1 / Question 16 [100 Year Flood Plain] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| Part 1 / Question 20 [Remediation Site] | Yes |